

# Coyote Valley Homes I

Redwood Valley, California

## UNIT AREA SUMMARY (SQUARE FOOTAGE IS CALCULATED AS BUILDABLE AREA AND INCLUDES ALL EXTERIOR WALLS.)

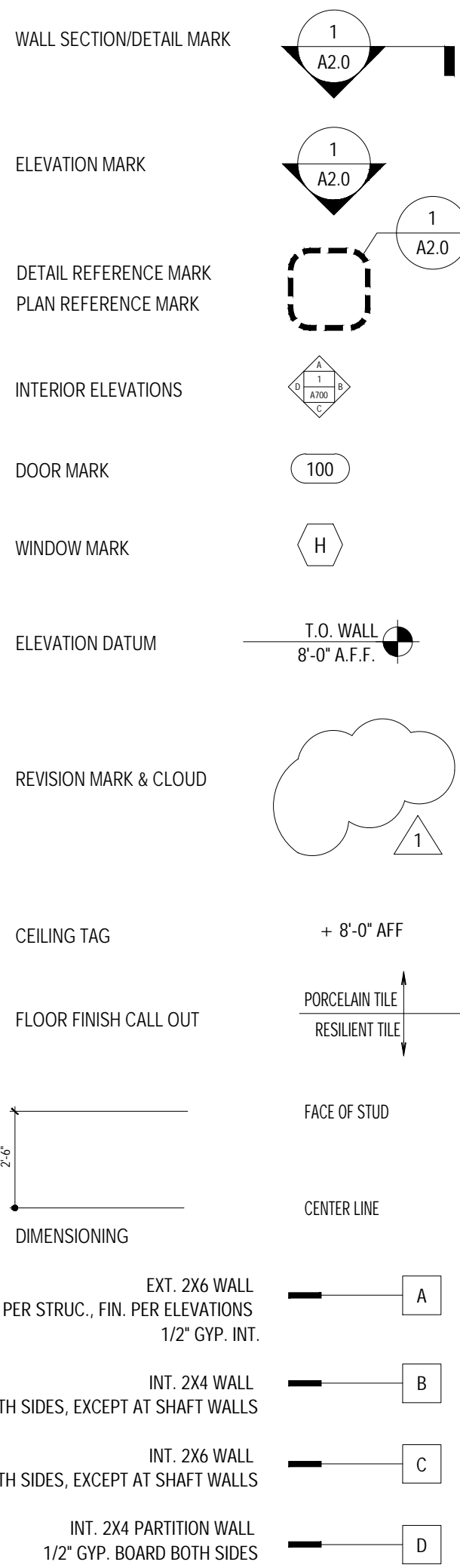
Unit Type	Building Description	Story	Bed	Bath	1st. Floor SqFt	2sn. Floor SqFt	Total SqFt/Unit	# of Units	Total SqFt
2A	Single Family	1	2	1	965.25	---	965.25	5	4,826.25
2B	Single Family	1	2	1	972.31	---	972.31	4	3,889.24
3A	Single Family	1	3	2	1,614.23	---	1,614.23	2	3,228.46
3A	Duplexes	1	3	2	1,614.23	---	1,614.23	4	6,456.92
3B	Single Family	2	3	2	1,195.42	494.34	1,689.76	1	1,689.76
3B	Duplexes	2	3	2	1,195.42	494.34	1,689.76	4	6,759.04
3C	Duplexes	2	3	2	1,407.31	366.64	1,773.95	2	3,547.90
4A	Duplexes	2	4	2	1,406.74	505.77	1,912.51	4	7,650.04
4B	Duplexes	2	4	2	1,513.61	536.73	2,050.34	2	4,100.68
						TOTAL	14,282.34	28	42,148.29

## ABBREVIATIONS & SYMBOLS

ABBREVIATIONS			
A.C.	ARCHITECTURAL CONCRETE	MFGD.	MANUFACTURED
ADA.	ACCESSIBLE FOR PERSONS WITH DISABILITIES	MFGR.	MANUFACTURER
A.F.F.	ABOVE FINISH FLOOR	MTD.	MOUNTED
ALT.	ALTERNATE	MTL.	METAL
BLKG.	BLOCKING	N.I.C.	NOT IN CONTRACT
BM.	BEAM	N.T.S.	NOT TO SCALE
BND.	BEYOND	O.C.	ON CENTER
BO.	BOARD	O.D.	OUTSIDE DIAMETER
B.O.	BOTTOM OF	O.F.D.	OVERFLOW DRAIN
C.C.	CENTER TO CENTER	OPG.	OPENING
CMU.	CONCRETE MASONRY UNIT	OPP.	OPPOSITE
CONC.	CONCRETE	PLAS LAM.	PLASTIC LAMINATE
DM.	DIMENSION	PLYWD.	PLYWOOD
D.S.	DOWNSPOUT	PT.	PAPER TOWEL
ELEV.	ELEVATION	Q.T.	QUARRY TILE
EQ.	EQUAL	REV.	REVERSE
EXIST.	EXISTING	RD.	ROOF DRAIN
F.D.	FLOOR DRAIN	R.I.	ROUGH IN
F.E.	FIRE EXTINGUISHER	R.I.C.	ROUGH IN AND CONNECT
F.E.C.	FIRE EXTINGUISHER CABINET	S.C.	SEALED CONCRETE
FIN.	FINISH	SHT.	SHEET
FLUOR.	FLUORESCENT	SIM.	SIMILAR
FLR.	FLOOR	SPEC.	SPECIFICATIONS
FNDN.	FOUNDATION	S.P.	STANDPIPE
F.R.	FIRE-RESISTIVE OR FIRE-RATED	STL	STEEL
F.O.W.	FACE OF WALL (EXISTING)	STRUCT.	STRUCTURAL
F.S.	FLOOR SINK	SUSP.	SUSPENDED
F.V.	FIELD VERIFY	TB.	TACK BOARD
GA.	GAUGE	TEMP.	TEMPERED
GALV.	GALVANIZED	T.O.	TOP OF
GR.	GROMMET	TPP.	TYPICAL
GYP. BD.	GYP SUM BOARD	U.L.	UNDERWRITERS LABORATORIES
HT.	HEIGHT	U.N.O.	UNLESS NOTED OTHERWISE
H.M.	HOLLOW METAL	WC.	WATER CLOSET
I.D.	INSIDE DIAMETER	WD.	WOOD
JT.	JOINT	W.P.	WORKING POINT
LAV.	LAVATORY	W/	WITH
M.B.	MARKER BOARD	W.W.F.	WELDED WIRE FABRIC
		X.	EXISTING

PROJECT SUMMARY  
2017 LIHTC PROJECT AWARD FOR THE NEW CONSTRUCTION OF (28) SINGLE FAMILY HOMES, THEIR DRIVEWAYS, AND SITE WORK.  
THE 28 NEW CONSTRUCTION UNITS WILL BE STICK BUILT. THERE ARE (9) 2 BEDROOMS, (13) 3 BEDROOMS, AND (6) 4 BEDROOMS.  
THE PROJECT ALSO INCLUDES ALL UTILITY INFRASTRUCTURE, NEW ROADS WORK, AND THE INFILL OF AN EXISTING LEACH FIELD.

## DRAWING SYMBOLS



APPLICABLE BUILDING CODES/REFERENCES	
2016 CALIFORNIA BUILDING CODE	GREENPOINT RATED (REF. GREENPOINT RATED PROCUREMENT MANUAL)
2016 RESIDENTIAL BUILDING CODE	
2016 CALIFORNIA MECHANICAL CODE	
2016 CALIFORNIA ELECTRICAL CODE	SEE SITE PLAN FOR SPECIFIC LOCATIONS
2016 INTERNATIONAL FIRE CODE	ADA – 10%
2016 CALIFORNIA ENERGY CODE	SENSORY ADAPTED UNITS – 4%
2016 CALIFORNIA GREEN BUILDING STANDARDS	UNIVERSAL DESIGN – 20%
	VISITABILITY – 10% LIHTC
CALIFORNIA BUILDING CODE 11B	
2017 TCAC OAP	
2017 LIHTC	
2017 GEOTECH REPORT	
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## PROJECT TEAM:

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- AN2 ADA NOTES
- AN3 ADA, SENSORY & UNIVERSAL DESIGN NOTES
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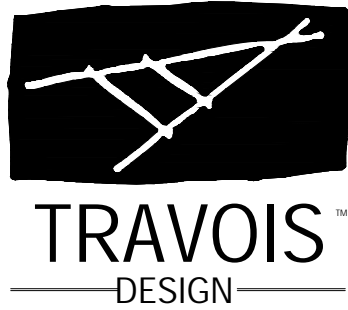
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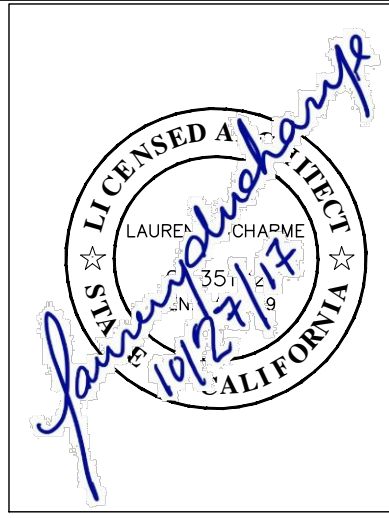
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REVISION	DATE
25% CDs	06/30/17
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100% CDs	10/27/17

FOR CONSTRUCTION 10/27/17

SHEET

ATS

TITLE SHEET

206 ACCESSIBLE ROUTES

206.2.1-.4 AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES; PUBLIC STREETS AND SIDEWALKS, PUBLIC TRANSPORTATION STOPS, ACCESSIBLE BUILDINGS AND FACILITIES AND SPACES TO THE ACCESSIBLE BUILDING OR ENTRANCE THEY SERVE. ONE ACCESSIBLE ROUTE SHALL CONNECT THE ACCESSIBLE SPACES AND ELEMENTS WITHIN THE BUILDING.

208.3.2 REQUIRED ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE TO THE RESIDENTIAL DWELLING UNIT ENTRANCE THEY SERVE.

228.2 WHERE MAIL BOXES ARE PROVIDED FOR EACH RESIDENTIAL DWELLING UNIT, MAIL BOXES COMPLYING WITH 309 SHALL BE PROVIDED FOR EACH ACCESSIBLE DWELLING UNIT.

302 FLOOR OR GROUND SURFACES

302.1 GENERAL. FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT AND SHALL COMPLY WITH 302.

302.2 CARPET. CARPET OR CARPET TILE SHALL BE SECURELY ATTACHED AND SHALL HAVE A FIRM CUSHION, PAD, OR BACKING OR NO CUSHION OR PAD. CARPET OR CARPET TILE SHALL HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL CUT PILE, OR LEVEL CUT/UNCUT PILE TEXTURE. PILE HEIGHT SHALL BE \_\_\_\_\_ MAX. EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES AND SHALL HAVE TRIM ON THE ENTIRE LENGTH OF THE EXPOSED EDGE. CARPET EDGE TRIM SHALL COMPLY WITH 303.

302.3 OPENINGS. OPENINGS IN FLOOR OR GROUND SURFACES SHALL NOT ALLOW PASSAGE OF A SPHERE MORE THAN \_\_\_\_\_ DIAMETER EXCEPT AS ALLOWED IN 407.4.3, 409.4.3, 410.4, 810.5 .3 AND 810.10. ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.

303 CHANGES IN LEVEL

303.2 VERTICAL. CHANGES IN LEVEL OF \_\_\_\_\_ HIGH MAX SHALL BE PERMITTED TO BE VERTICAL.

303.3 BEVELED. CHANGES IN LEVEL BETWEEN \_\_\_\_\_ HIGH MIN AND \_\_\_\_\_ HIGH MAX SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1 : 2.

303.4 RAMPS. CHANGES IN LEVEL GREATER THAN \_\_\_\_\_ HIGH SHALL BE RAMPED, AND SHALL COMPLY WITH 405 OR 406.

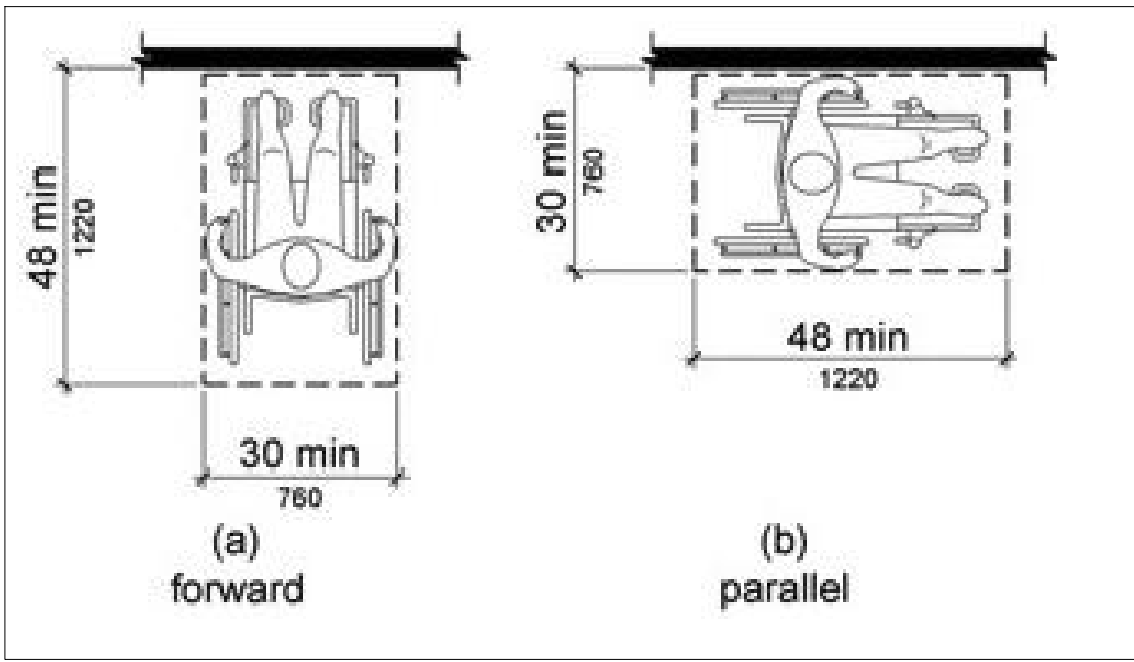
304 TURNING SPACE

304.3.1 CIRCULAR SPACE. THE TURNING SPACE SHALL BE A SPACE OF 60 \_\_\_\_\_ DIAMETER MIN THE SPACE SHALL BE PERMITTED TO INCLUDE KNEE AND TOE CLEARANCE COMPLYING WITH 306.

304.3.2 T-SHAPED SPACE. THE TURNING SPACE SHALL BE A T-SHAPED SPACE WITHIN A 60 \_\_\_\_\_ SQUARE MIN WITH ARMS AND BASE 36 \_\_\_\_\_ WIDE MIN EACH ARM OF THE T SHALL BE CLEAR OF OBSTRUCTIONS 12 \_\_\_\_\_ MIN IN EACH DIRECTION AND THE BASE SHALL BE CLEAR OF OBSTRUCTIONS 24 \_\_\_\_\_ MIN. THE SPACE SHALL BE PERMITTED TO INCLUDE KNEE AND TOE CLEARANCE COMPLYING WITH 306 ONLY AT THE END OF EITHER THE BASE OR ONE ARM.

304.4 DOOR SWING. DOORS SHALL BE PERMITTED TO SWING INTO TURNING SPACES.

FIGURE 305.5 CLEAR FLOOR SPACE



305 CLEAR FLOOR OR GROUND SPACE

305.5 POSITION. UNLESS OTHERWISE SPECIFIED, CLEAR FLOOR OR GROUND SPACE SHALL BE POSITIONED FOR EITHER FORWARD OR PARALLEL APPROACH TO AN ELEMENT.

305.6 APPROACH. ONE FULL UNOBSTRUCTED SIDE OF THE CLEAR FLOOR OR GROUND SPACE SHALL ADJOIN AN ACCESSIBLE ROUTE OR ADJOIN ANOTHER CLEAR FLOOR OR GROUND SPACE.

305.7 MANEUVERING CLEARANCE.

305 .7.1 FORWARD APPROACH. ALCOVES SHALL BE 36 \_\_\_\_\_ WIDE MIN WHERE THE DEPTH EXCEEDS 24 \_\_\_\_\_.

305 .7.2 PARALLEL APPROACH. ALCOVES SHALL BE 60 \_\_\_\_\_ WIDE MIN WHERE THE DEPTH EXCEEDS 15 \_\_\_\_\_.

306 KNEE AND TOE CLEARANCE

306.1 GENERAL. WHERE SPACE BENEATH AN ELEMENT IS INCLUDED AS PART OF CLEAR FLOOR OR GROUND SPACE OR TURNING SPACE, THE SPACE SHALL COMPLY WITH 306. ADDITIONAL SPACE SHALL NOT BE PROHIBITED BENEATH AN ELEMENT BUT SHALL NOT BE CONSIDERED AS PART OF THE CLEAR FLOOR OR GROUND SPACE OR TURNING SPACE.

306.2 TOE CLEARANCE.

306.2.1 GENERAL. SPACE UNDER AN ELEMENT BETWEEN THE FINISH FLOOR OR GROUND AND 9 \_\_\_\_\_ ABOVE THE FINISH FLOOR OR GROUND SHALL BE CONSIDERED TOE CLEARANCE AND SHALL COMPLY WITH 306.2.

306.2.2 MAX DEPTH. TOE CLEARANCE SHALL EXTEND 25 \_\_\_\_\_ MAX UNDER AN ELEMENT.

306.2.3 MIN REQUIRED DEPTH. WHERE TOE CLEARANCE IS REQUIRED AT AN ELEMENT AS PART OF A CLEAR FLOOR SPACE, THE TOE CLEARANCE SHALL EXTEND 17 \_\_\_\_\_ MIN UNDER THE ELEMENT.

306.2.4 ADDITIONAL CLEARANCE. SPACE EXTENDING GREATER THAN 6 \_\_\_\_\_ BEYOND THE AVAILABLE KNEE CLEARANCE AT 9 \_\_\_\_\_ ABOVE THE FINISH FLOOR OR GROUND SHALL NOT BE CONSIDERED TOE CLEARANCE.

306.2.5 WIDTH. TOE CLEARANCE SHALL BE 30 \_\_\_\_\_ WIDE MIN

306.3 KNEE CLEARANCE.

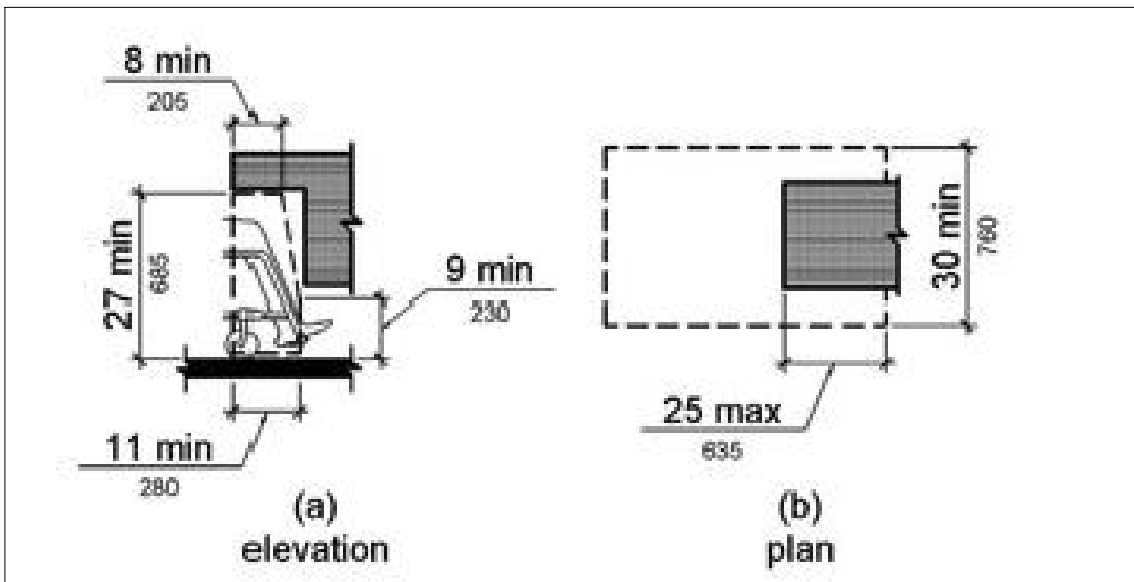
306.3.1 GENERAL. SPACE UNDER AN ELEMENT BETWEEN 9 \_\_\_\_\_ AND 27 \_\_\_\_\_ ABOVE THE FINISH FLOOR OR GROUND SHALL BE CONSIDERED KNEE CLEARANCE AND SHALL COMPLY WITH 306.3.

306.3.2 MAX DEPTH. KNEE CLEARANCE SHALL EXTEND 25 \_\_\_\_\_ MAX UNDER AN ELEMENT AT 9 \_\_\_\_\_ ABOVE THE FINISH FLOOR OR GROUND.

306.3.3 MIN REQUIRED DEPTH. WHERE KNEE CLEARANCE IS REQUIRED UNDER AN ELEMENT AS PART OF A CLEAR FLOOR SPACE, THE KNEE CLEARANCE SHALL BE 11 \_\_\_\_\_ DEEP MIN AT 9 \_\_\_\_\_ ABOVE THE FINISH FLOOR OR GROUND, AND 8 \_\_\_\_\_ DEEP MIN AT 27 \_\_\_\_\_ ABOVE THE FINISH FLOOR OR GROUND. 306.3.4 CLEARANCE REDUCTION. BETWEEN 9 \_\_\_\_\_ AND 27 \_\_\_\_\_ ABOVE THE FINISH FLOOR OR GROUND, THE KNEE CLEARANCE SHALL BE PERMITTED TO REDUCE AT A RATE OF 1 \_\_\_\_\_ IN DEPTH FOR EACH 6 \_\_\_\_\_ IN HEIGHT.

306.3.5 WIDTH. KNEE CLEARANCE SHALL BE 30 \_\_\_\_\_ WIDE MIN

FIGURE 306.3 KNEE CLEARANCE



307 PROTRUDING OBJECTS

307.2 PROTRUSION LIMITS. OBJ ECTS WITH LEADING EDGES MORE THAN 27 \_\_\_\_\_ AND NOT MORE THAN 80 \_\_\_\_\_ ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE 4 \_\_\_\_\_ MAX HORIZONTALLY INTO THE CIRCULATION PATH.

307.3 POST-MOUNTED OBJ ECTS. FREE-STANDING OBJ ECTS MOUNTED ON POSTS OR PYLONS SHALL OVERHANG CIRCULATION PATHS 12 \_\_\_\_\_ MAX WHEN LOCATED 27 \_\_\_\_\_ MIN AND 80 \_\_\_\_\_ MAX ABOVE THE FINISH FLOOR OR GROUND. WHERE A SIGN OR OTHER OBSTRUCTION IS MOUNTED BETWEEN POSTS OR PYLONS AND THE CLEAR DISTANCE BETWEEN THE POSTS OR PYLONS IS GREATER THAN 12 \_\_\_\_\_ THE LOWEST EDGE OF SUCH SIGN OR OBSTRUCTION SHALL BE 27 \_\_\_\_\_ MAX OR 80 \_\_\_\_\_ MIN ABOVE THE FINISH FLOOR OR GROUND.

307.4 VERTICAL CLEARANCE. VERTICAL CLEARANCE SHALL BE 80 \_\_\_\_\_ HIGH MIN. GUARDRAILS OR OTHER BARRIERS SHALL BE PROVIDED WHERE THE VERTICAL CLEARANCE IS LESS THAN 80 HIGH. THE LEADING EDGE OF SUCH GUARDRAIL OR BARRIER SHALL BE LOCATED 27 \_\_\_\_\_ MAX ABOVE THE FINISH FLOOR OR GROUND.

307.5 REQUIRED CLEAR WIDTH. PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH REQUIRED FOR ACCESSIBLE ROUTES.

308 REACH RANGES

308.2 FORWARD REACH.

308.2.1 UNOBSTRUCTED. WHERE A FORWARD REACH IS UNOBSTRUCTED, THE HIGH FORWARD REACH SHALL BE 48 \_\_\_\_\_ MAX AND THE LOW FORWARD REACH SHALL BE 15 \_\_\_\_\_ MIN ABOVE THE FINISH FLOOR OR GROUND.

308.2.2 OBSTRUCTED HIGH REACH. WHERE A HIGH FORWARD REACH IS OVER AN OBSTRUCTION, THE CLEAR FLOOR SPACE SHALL EXTEND BENEATH THE ELEMENT FOR A DISTANCE NOT LESS THAN THE REQUIRED REACH DEPTH OVER THE OBSTRUCTION. THE HIGH FORWARD REACH SHALL BE 48 \_\_\_\_\_ MAX WHERE THE REACH DEPTH IS 20 \_\_\_\_\_ MAX. WHERE THE REACH DEPTH EXCEEDS 20 \_\_\_\_\_ THE HIGH FORWARD REACH SHALL BE 44 \_\_\_\_\_ MAX AND THE REACH DEPTH SHALL BE 25 \_\_\_\_\_ MAX.

308.3 SIDE REACH

308.3.1 UNOBSTRUCTED. WHERE A CLEAR FLOOR OR GROUND SPACE ALLOWS A PARALLEL APPROACH TO AN ELEMENT AND THE SIDE REACH IS UNOBSTRUCTED, THE HIGH SIDE REACH SHALL BE 48 \_\_\_\_\_ MAX AND THE LOW SIDE REACH SHALL BE 15 \_\_\_\_\_ MIN ABOVE THE FINISH FLOOR OR GROUND.

EXCEPTIONS: 1. AN OBSTRUCTION SHALL BE PERMITTED BETWEEN THE CLEAR FLOOR OR GROUND SPACE AND THE ELEMENT WHERE THE DEPTH OF THE OBSTRUCTION IS 10 \_\_\_\_\_ ( 25 5 MM) MAX.

308.3.2 OBSTRUCTED HIGH REACH. WHERE A CLEAR FLOOR OR GROUND SPACE ALLOWS A PARALLEL APPROACH TO AN ELEMENT AND THE HIGH SIDE REACH IS OVER AN OBSTRUCTION, THE HEIGHT OF THE OBSTRUCTION SHALL BE 34 \_\_\_\_\_ MAX AND THE DEPTH OF THE OBSTRUCTION SHALL BE 24 \_\_\_\_\_ MAX. THE HIGH SIDE REACH SHALL BE 48 \_\_\_\_\_ MAX FOR A REACH DEPTH OF 10 MAX. WHERE THE REACH DEPTH EXCEEDS 10 \_\_\_\_\_ THE HIGH SIDE REACH SHALL BE 46 \_\_\_\_\_ MAX FOR A REACH DEPTH OF 24 \_\_\_\_\_ MAX.

309 OPERABLE PARTS

309.2 CLEAR FLOOR SPACE. A CLEAR FLOOR OR GROUND SPACE COMPLYING WITH 305 SHALL BE PROVIDED.

309.3 HEIGHT. OPERABLE PARTS SHALL BE PLACED WITHIN ONE OR MORE OF THE REACH RANGES SPECIFIED IN 308.

309.4 OPERATION. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAX.

400 ACCESSIBLE ROUTES

403 WALKING SURFACES

403.3 SLOPE. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48.

403.5 .1 CLEAR WIDTH. EXCEPT AS PROVIDED IN 403.5 .2 AND 403.5 .3, THE CLEAR WIDTH OF WALKING SURFACES SHALL BE 36 \_\_\_\_\_ MIN. EXCEPTION: THE CLEAR WIDTH SHALL BE PERMITTED TO BE REDUCED TO 32 \_\_\_\_\_ MIN FOR A LENGTH OF 24 \_\_\_\_\_ MAX PROVIDED THAT REDUCED WIDTH SEGMENTS ARE SEPARATED BY SEGMENTS THAT ARE 48 \_\_\_\_\_ LONG MIN AND 36 \_\_\_\_\_ WIDE MIN.

403.5 .2 CLEAR WIDTH AT TURN. WHERE THE ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN ELEMENT WHICH IS LESS THAN 48 \_\_\_\_\_ WIDE, CLEAR WIDTH SHALL BE 42 \_\_\_\_\_ MIN APPROACHING THE TURN, 48 \_\_\_\_\_ MIN AT THE TURN AND 42 \_\_\_\_\_ MIN LEAVING THE TURN. EXCEPTION: WHERE THE CLEAR WIDTH AT THE TURN IS 60 \_\_\_\_\_ MIN COMPLIANCE WITH 403.5 .2 SHALL NOT BE REQUIRED.

403.5 .3 PASSING SPACES. AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN 60 \_\_\_\_\_ SHALL PROVIDE PASSING SPACES AT INTERVALS OF 200 \_\_\_\_\_ MAXIMUM. PASSING SPACES SHALL BE EITHER: A SPACE 60 \_\_\_\_\_ X 60 \_\_\_\_\_ MINIMUM; OR, AN INTERSECTION OF TWO WALKING SURFACES PROVIDING A T-SHAPED SPACE COMPLYING WITH 304.3.2 WHERE THE BASE AND ARMS OF THE T-SHAPED SPACE EXTEND 48 INCHES (1220 MM) MINIMUM BEYOND THE INTERSECTION.

404 DOORS, DOORWAYS, AND GATES

404.2.2 DOUBLE-LEAF DOORS AND GATES. AT LEAST ONE OF THE ACTIVE LEAVES OF DOORWAYS WITH TWO LEAVES SHALL COMPLY WITH 404.2.3 AND 404.2.4.

404.2.3 CLEAR WIDTH. DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 \_\_\_\_\_ MIN. CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP. WITH THE DOOR OPEN 90 DEGREES, OPENINGS MORE THAN 24 \_\_\_\_\_ DEEP SHALL PROVIDE A CLEAR OPENING OF 36 \_\_\_\_\_ MIN THERE SHALL BE NO PROJ ECTIONS INTO THE REQUIRED CLEAR OPENING WIDTH LOWER THAN 34 \_\_\_\_\_ ABOVE THE FINISH FLOOR OR GROUND. PROJ ECTIONS INTO THE CLEAR OPENING WIDTH BETWEEN 34 \_\_\_\_\_ AND 80 \_\_\_\_\_ ABOVE THE FINISH FLOOR OR GROUND SHALL NOT EXCEED 4 \_\_\_\_\_.

404.2.4 MANEUVERING CLEARANCES. MANEUVERING CLEARANCES SHALL EXTEND THE FULL WIDTH OF THE DOORWAY AND THE REQUIRED LATCH SIDE OR HINGE SIDE CLEARANCE.

TABLE 404.2.4.1 MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS AND GATES

TYPE OF USE		MIN.MANEUVERING CLEARANCE	
APPROACH DIRECTION	DOOR OR GATE SIDE	PERPENDICULAR TO DOORWAY	PARALLEL TO DOORWAY (BEYOND LATCH SIDE, U.N.O.)
FROM FRONT	PULL	60"	18"
FROM FRONT	PUSH	48"	0" <sup>1</sup>
FROM HINGE SIDE	PULL	60"	36"
FROM HINGE SIDE	PULL	54"	42"
FROM HINGE SIDE	PUSH	42" <sup>2</sup>	22" <sup>3</sup>
FROM LATCH SIDE	PULL	48" <sup>4</sup>	24"
FROM LATCH SIDE	PUSH	42" <sup>4</sup>	24"

1. ADD 12" IF CLOSER AND LATCH ARE PROVIDED.
2. ADD 4" IF CLOSER AND LATCH ARE PROVIDED.
3. BEYOND HINGE SIDE.
4. ADD 6" IF CLOSER IS PROVIDED.

404.2.4.2 DOORWAYS WITHOUT DOORS OR GATES, SLIDING DOORS, AND FOLDING DOORS. DOORWAYS LESS THAN 36 \_\_\_\_\_ WIDE WITHOUT DOORS OR GATES, SLIDING DOORS, OR FOLDING DOORS SHALL HAVE MANEUVERING CLEARANCES COMPLYING WITH TABLE 404.2.4.2.

TABLE 404.2.4.2 MANEUVERING CLEARANCES AT DOORWAYS WITHOUT DOORS OR GATES, MANUAL SLIDING DOORS AND MANUAL FOLDING DOORS

TYPE OF USE		MIN.MANEUVERING CLEARANCE	
APPROACH DIRECTION		PERPENDICULAR TO DOORWAY	PARALLEL TO DOORWAY (BEYOND LATCH SIDE, U.N.O.)
FROM FRONT		48"	0"
FROM SIDE <sup>1</sup>		42"	0"
FROM POCKET/HINGE		42"	22" <sup>2</sup>
FROM STOP/LATCH SIDE		42"	24"

1. DOORWAY WITH NO DOOR ONLY.
2. BEYOND POCKET/HINGE SIDE.

404.2.4.3 RECESSED DOORS AND GATES. MANEUVERING CLEARANCES FOR FORWARD APPROACH SHALL BE PROVIDED WHEN ANY OBSTRUCTION WITHIN 18 \_\_\_\_\_ ( 45 5 MM) OF THE LATCH SIDE OF A DOORWAY PROJ ECTS MORE THAN 8 \_\_\_\_\_ ( 205 MM) BEYOND THE FACE OF THE DOOR, MEASURED PERPENDICULAR TO THE FACE OF THE DOOR OR GATE.

ADVISORY 404.2.4.3 RECESSED DOORS AND GATES. A DOOR CAN BE RECESSED DUE TO WALL THICKNESS OR BECAUSE OF THE PLACEMENT OF CASEWORK AND OTHER FIXED ELEMENTS ADJACENT TO THE DOORWAY. THIS PROVISION MUST BE APPLIED WHEREVER DOORS ARE RECESSED.

404.2.4.4 FLOOR OR GROUND SURFACE. FLOOR OR GROUND SURFACE WITHIN REQUIRED MANEUVERING CLEARANCES SHALL COMPLY WITH 302. CHANGES IN LEVEL ARE NOT PERMITTED. EXCEPTIONS: 1. SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED. 2. CHANGES IN LEVEL AT THRESHOLDS COMPLYING WITH 404.2.5 SHALL BE PERMITTED.

404.2.5 THRESHOLDS. THRESHOLDS, IF PROVIDED AT DOORWAYS, SHALL BE \_\_\_\_\_ HIGH MAX. EXCEPTION: EXISTING OR ALTERED THRESHOLDS \_\_\_\_\_ HIGH MAX THAT HAVE A BEVELED EDGE ON EACH SIDE WITH A SLOPE NOT STEEPER THAN 1:2 SHALL NOT BE REQUIRED TO COMPLY WITH 404.2.5.

404.2.6 DOORS IN SERIES AND GATES IN SERIES. THE DISTANCE BETWEEN TWO HINGED OR PIVOTED DOORS IN SERIES AND GATES IN SERIES SHALL BE 48 \_\_\_\_\_ MIN PLUS THE WIDTH OF DOORS OR GATES SWINGING INTO THE SPACE.

404.2.7 DOOR AND GATE HARDWARE. HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON DOORS AND GATES SHALL COMPLY WITH 309.4. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 \_\_\_\_\_ MIN AND 48 \_\_\_\_\_ MAX ABOVE THE FINISH FLOOR OR GROUND. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.

- EXCEPTIONS: 1. EXISTING LOCKS SHALL BE PERMITTED IN ANY LOCATION AT EXISTING GLAZED DOORS WITHOUT STILES. EXISTING OVERHEAD ROLLING DOORS OR GRILLES, AND SIMILAR EXISTING DOORS OR GRILLES THAT ARE DESIGNED WITH LOCKS THAT ARE ACTIVATED ONLY AT THE TOP OR BOTTOM RAIL.
2. ACCESS GATES IN BARRIER WALLS AND FENCES PROTECTING POOLS, SPAS, AND HOT TUBS SHALL BE PERMITTED TO HAVE OPERABLE PARTS OF THE RELEASE OF LATCH ON SELF-LATCHING DEVICES AT 5 4 \_\_\_\_\_ MAX ABOVE THE FINISH FLOOR OR GROUND PROVIDED THE SELF-LATCHING DEVICES ARE NOT ALSO SELF-LOCKING DEVICES AND OPERATED BY MEANS OF A KEY, ELECTRONIC OPENER, OR INTEGRAL COMBINATION LOCK.

404.2.8 CLOSING SPEED.

404.2.8.1 DOOR CLOSERS AND GATE CLOSERS. DOOR CLOSERS AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MIN.

404.2.8.2 SPRING HINGES. DOOR AND GATE SPRING HINGES SHALL BE ADJUSTED SO THAT FROM THE OPEN POSITION OF 70 DEGREES, THE DOOR OR GATE SHALL MOVE TO THE CLOSED POSITION IN 1.5 SECONDS MIN.

404.2.9 DOOR AND GATE OPENING FORCE. FIRE DOORS SHALL HAVE A MIN OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY. THE FORCE FOR PUSHING OR PULLING OPEN A DOOR OR GATE OTHER THAN FIRE DOORS SHALL BE AS FOLLOWS:

1. INTERIOR HINGED DOORS AND GATES: 5 POUNDS MAX.
2. SLIDING OR FOLDING DOORS: 5 POUNDS MAX.

404.2.10 DOOR AND GATE SURFACES. SWINGING DOOR AND GATE SURFACES WITHIN 10 \_\_\_\_\_ OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN THESE SURFACES SHALL BE WITHIN 1/16 \_\_\_\_\_ OF THE SAME PLANE AS THE OTHER. CAVITIES CREATED BY ADDED KICK PLATES SHALL BE CAPPED.

EXCEPTIONS:

1. SLIDING DOORS SHALL NOT BE REQUIRED TO COMPLY WITH 404.2.10.
2. TEMPERED GLASS DOORS WITHOUT STILES AND HAVING A BOTTOM RAIL OR SHOE WITH THE TOP LEADING EDGE TAPERED AT 60 DEGREES MIN FROM THE HORIZONTAL SHALL NOT BE REQUIRED TO MEET THE 10 \_\_\_\_\_ BOTTOM SMOOTH SURFACE HEIGHT REQUIREMENT.
3. DOORS AND GATES THAT DO NOT EXTEND TO WITHIN 10 \_\_\_\_\_ OF THE FINISH FLOOR OR GROUND SHALL NOT BE REQUIRED TO COMPLY WITH 404.2.10.
4. EXISTING DOORS AND GATES WITHOUT SMOOTH SURFACES WITHIN 10 \_\_\_\_\_ OF THE FINISH FLOOR OR GROUND SHALL NOT BE REQUIRED TO PROVIDE SMOOTH SURFACES COMPLYING WITH 404.2.10 PROVIDED THAT IF ADDED KICK PLATES ARE INSTALLED, CAVITIES CREATED BY SUCH KICK PLATES ARE CAPPED.

404.2.11 VISION LIGHTS, DOORS, GATES, AND SIDE LIGHTS ADJACENT TO DOORS OR GATES, CONTAINING ONE OR MORE GLAZING PANELS THAT PERMIT VIEWING THROUGH THE PANELS SHALL HAVE THE BOTTOM OF AT LEAST ONE GLAZED PANEL LOCATED 43 \_\_\_\_\_ MAX ABOVE THE FINISH FLOOR.

405 RAMPS

405.2 SLOPE. RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12.

EXCEPTION: IN EXISTING SITES, BUILDINGS, AND FACILITIES, RAMPS SHALL BE PERMITTED TO HAVE RUNNING SLOPES STEEPER THAN 1:12 COMPLYING WITH TABLE 405.2 WHERE SUCH SLOPES ARE NECESSARY DUE TO SPACE LIMITATIONS.

TABLE 405.2 MAX RAMP SLOPE AND RISE FOR EXISTING SITES, BUILDINGS, AND FACILITIES

SLOPE	MAX RISE
STEEPER THAN 1:10, BUT LESS THAN 1:8	3"
STEEPER THAN 1:12, BUT LESS THAN 1:10	6"

405.3 CROSS SLOPE. CROSS SLOPE OF RAMP RUNS SHALL NOT BE STEEPER THAN 1:48.

405.4 FLOOR OR GROUND SURFACES. FLOOR OR GROUND SURFACES OF RAMP RUNS SHALL COMPLY WITH 302. CHANGES IN LEVEL OTHER THAN THE RUNNING SLOPE AND CROSS SLOPE ARE NOT PERMITTED ON RAMP RUNS.

405 .5 CLEAR WIDTH. THE CLEAR WIDTH OF A RAMP RUN AND, WHERE HANDRAILS ARE PROVIDED, THE CLEAR WIDTH BETWEEN HANDRAILS SHALL BE 36 \_\_\_\_\_ MIN.

405 .6 RISE. THE RISE FOR ANY RAMP RUN SHALL BE 30 \_\_\_\_\_ MAX.

405.7 LANDINGS. RAMPS SHALL HAVE LANDINGS AT THE TOP AND THE BOTTOM OF EACH RAMP RUN.

405.7.1 SLOPE. LANDINGS SHALL COMPLY WITH 302. CHANGES IN LEVEL ARE NOT PERMITTED. EXCEPTION: SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED.

405.7.2 WIDTH. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING.

405 .7.3 LENGTH. THE LANDING CLEAR LENGTH SHALL BE 60 \_\_\_\_\_ LONG MIN.

405 .7.4 CHANGE IN DIRECTION. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS SHALL HAVE A CLEAR LANDING 60 \_\_\_\_\_ X60 \_\_\_\_\_ MIN.

405 .8 HANDRAILS. RAMP RUNS WITH A RISE GREATER THAN 6 \_\_\_\_\_ SHALL HAVE HANDRAILS COMPLYING WITH 5 05 \_\_\_\_\_.

405.9 EDGE PROTECTION. EDGE PROTECTION COMPLYING WITH 405.9.1 OR 405.9.2 SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS AND AT EACH SIDE OF RAMP LANDINGS.

EXCEPTIONS:

1. EDGE PROTECTION SHALL NOT BE REQUIRED ON RAMPS THAT ARE NOT REQUIRED TO HAVE HANDRAILS AND HAVE SIDES COMPLYING WITH 406.3.
2. EDGE PROTECTION SHALL NOT BE REQUIRED ON THE SIDES OF RAMP LANDINGS SERVING AN ADJOINING RAMP RUN OR STAIRWAY.
3. EDGE PROTECTION SHALL NOT BE REQUIRED ON THE SIDES OF RAMP LANDINGS HAVING A VERTICAL DROP-OFF OF \_\_\_\_\_ MAX WITHIN 10 \_\_\_\_\_ HORIZONTALLY OF THE MIN LANDING AREA SPECIFIED IN 405.7.

405 .9.1 EXTENDED FLOOR OR GROUND SURFACE. THE FLOOR OR GROUND SURFACE OF THE RAMP RUN OR LANDING SHALL EXTEND 12 \_\_\_\_\_ MIN BEYOND THE INSIDE FACE OF A HANDRAIL COMPLYING WITH 505.

405 .9.2 CURB OR BARRIER. A CURB OR BARRIER SHALL BE PROVIDED THAT PREVENTS THE PASSAGE OF A 4 \_\_\_\_\_ DIAMETER SPHERE, WHERE ANY PORTION OF THE SPHERE IS WITHIN 4 \_\_\_\_\_ OF THE FINISH FLOOR OR GROUND SURFACE.

405.10 WET CONDITIONS. LANDINGS SUBJECT TO WET CONDITIONS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF WATER.

504 STAIRWAYS

5 04.2 TREADS AND RISERS. ALL STEPS ON A FLIGHT OF STAIRS SHALL HAVE UNIFORM RISER HEIGHTS AND UNIFORM TREAD DEPTHS. RISERS SHALL BE 4 \_\_\_\_\_ HIGH MIN AND 7 \_\_\_\_\_ HIGH MAX. TREADS SHALL BE 11 \_\_\_\_\_ DEEP MIN.

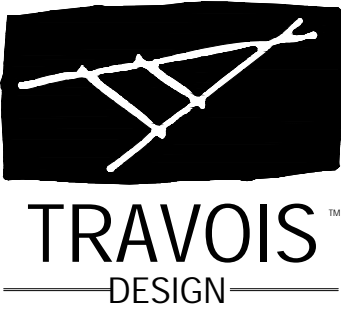
504.3 OPEN RISERS. OPEN RISERS ARE NOT PERMITTED.

504.4 TREAD SURFACE. STAIR TREADS SHALL COMPLY WITH 302. CHANGES IN LEVEL ARE NOT PERMITTED. TREADS SHALL BE PERMITTED TO HAVE A SLOPE NOT STEEPER THAN 1:48.

5 04.5 NOSINGS. THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE \_\_\_\_\_ MAX. NOSINGS THAT PROJ ECT BEYOND RISERS SHALL HAVE THE UNDERSIDE OF THE LEADING EDGE CURVED OR BEVELED. RISERS SHALL BE PERMITTED TO SLOPE UNDER THE TREAD AT AN ANGLE OF 30 DEGREES MAX FROM VERTICAL. THE PERMITTED PROJ ECTION OF THE NOSING SHALL EXTEND 1 \_\_\_\_\_ MAX OVER THE TREAD BELOW.

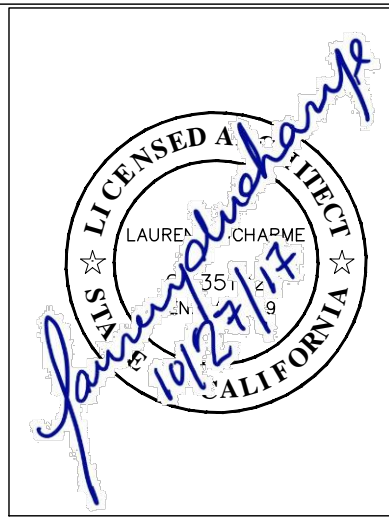
504.6 HANDRAILS. STAIRS SHALL HAVE HANDRAILS COMPLYING WITH 505.

504.7 WET CONDITIONS. STAIR TREADS AND LANDINGS SUBJECT TO WET CONDITIONS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF WATER.



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SHEET

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ADA NOTES

505 HANDRAILS

5 05 .02 WHERE REQUIRED. HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF STAIRS AND RAMPS WITH A RISE GREATER THAN 6" .

505.3 CONTINUITY. HANDRAILS SHALL BE CONTINUOUS WITHIN THE FULL LENGTH OF EACH STAIR FLIGHT OR RAMP RUN. INSIDE HANDRAILS ON SWITCHBACK OR DOGLEG STAIRS AND RAMPS SHALL BE CONTINUOUS BETWEEN FLIGHTS OR RUNS.

5 05 .04 HEIGHT. TOP OF GRIPPING SURFACES OF HANDRAILS SHALL BE 34" MIN AND 38" MAX VERTICALLY ABOVE WALKING SURFACES, STAIR NOSINGS, AND RAMP SURFACES. HANDRAILS SHALL BE AT A CONSISTENT HEIGHT ABOVE WALKING SURFACES, STAIR NOSINGS, AND RAMP SURFACES.

5 05 .05 CLEARANCE. CLEARANCE BETWEEN HANDRAIL GRIPPING SURFACES AND ADJACENT SURFACES SHALL BE 1" MIN

505.6 GRIPPING SURFACE. HANDRAIL GRIPPING SURFACES SHALL BE CONTINUOUS ALONG THEIR LENGTH AND SHALL NOT BE OBSTRUCTED ALONG THEIR TOPS OR SIDES. THE BOTTOMS OF HANDRAIL GRIPPING SURFACES SHALL NOT BE OBSTRUCTED FOR MORE THAN 20 PERCENT OF THEIR LENGTH. WHERE PROVIDED, HORIZONTAL PROJECTIONS SHALL OCCUR

1" MIN BELOW THE BOTTOM OF THE HANDRAIL GRIPPING SURFACE.

EXCEPTIONS:

- WHERE HANDRAILS ARE PROVIDED ALONG WALKING SURFACES WITH SLOPES NOT STEEPER THAN 1:20, THE BOTTOMS OF HANDRAIL GRIPPING SURFACES SHALL BE PERMITTED TO BE OBSTRUCTED ALONG THEIR ENTIRE LENGTH WHERE THEY ARE INTEGRAL TO CRASH RAILS OR BUMPER GUARDS.
- THE DISTANCE BETWEEN HORIZONTAL PROJECTIONS AND THE BOTTOM OF THE GRIPPING SURFACE SHALL BE PERMITTED TO BE REDUCED BY 1/8" FOR EACH" OF ADDITIONAL HANDRAIL PERIMETER DIMENSION THAT EXCEEDS 4" .

5 05 .07 1.1 CIRCULAR CROSS SECTION. HANDRAIL GRIPPING SURFACES WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF 1" MIN AND 2" MAX.

5 05 .07 2.2 NON-CIRCULAR CROSS SECTIONS. HANDRAIL GRIPPING SURFACES WITH A NON-CIRCULAR CROSS SECTION SHALL HAVE A PERIMETER DIMENSION OF 4" MIN AND 6" MAX, AND A CROSS-SECTION DIMENSION OF 2" MAX.

505.8 SURFACES. HANDRAIL GRIPPING SURFACES AND ANY SURFACES ADJACENT TO THEM SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS AND SHALL HAVE ROUNDED EDGES.

505.9 FITTINGS. HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

505.10 HANDRAIL EXTENSIONS. HANDRAIL GRIPPING SURFACES SHALL EXTEND BEYOND AND IN THE SAME DIRECTION OF STAIR FLIGHTS AND RAMP RUNS IN ACCORDANCE WITH 505.10.

- EXTENSIONS SHALL NOT BE REQUIRED FOR CONTINUOUS HANDRAILS AT THE INSIDE TURN OF SWITCHBACK OR DOGLEG STAIRS AND RAMPS.
- IN ALTERATIONS, FULL EXTENSIONS OF HANDRAILS SHALL NOT BE REQUIRED WHERE SUCH EXTENSIONS WOULD BE HAZARDOUS DUE TO PLAN CONFIGURATION.

5 05 .10 1.1 TOP AND BOTTOM EXTENSION AT RAMPS. RAMP HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING FOR 12" MIN BEYOND THE TOP AND BOTTOM OF RAMP RUNS. EXTENSIONS SHALL RETURN TO A WALL, GUARD, OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT RAMP RUN.

5 05 .10 2.2 TOP EXTENSION AT STAIRS. AT THE TOP OF A STAIR FLIGHT, HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING FOR 12" MIN BEGINNING DIRECTLY ABOVE THE FIRST RISER NOSING. EXTENSIONS SHALL RETURN TO A WALL, GUARD, OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT.

505.10.3 BOTTOM EXTENSION AT STAIRS. AT THE BOTTOM OF A STAIR FLIGHT, HANDRAILS SHALL EXTEND AT THE SLOPE OF THE STAIR FLIGHT FOR A HORIZONTAL DISTANCE AT LEAST EQUAL TO ONE TREAD DEPTH BEYOND THE LAST RISER NOSING. EXTENSION SHALL RETURN TO A WALL, GUARD, OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT.

603 TOILET AND BATHING ROOMS

603.2 CLEARANCES.

603.2.1 TURNING SPACE. TURNING SPACE COMPLYING WITH 304 SHALL BE PROVIDED WITHIN THE ROOM.

603.2.2 OVERLAP. REQUIRED CLEAR FLOOR SPACES, CLEARANCE AT FIXTURES, AND TURNING SPACE SHALL BE PERMITTED TO OVERLAP.

603.2.3 DOOR SWING. DOORS SHALL NOT SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE REQUIRED FOR ANY FIXTURE. DOORS SHALL BE PERMITTED TO SWING INTO THE REQUIRED TURNING SPACE.

EXCEPTIONS:

2. WHERE THE TOILET ROOM OR BATHING ROOM IS FOR INDIVIDUAL USE AND A CLEAR FLOOR SPACE COMPLYING WITH 305.3 IS PROVIDED WITHIN THE ROOM BEYOND THE ARC OF THE DOOR SWING, DOORS SHALL BE PERMITTED TO SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE REQUIRED FOR ANY FIXTURE.

603.3 MIRRORS. MIRRORS LOCATED ABOVE LAVATORIES OR COUNTERTOPS SHALL BE INSTALLED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 40" MAX ABOVE THE FINISH FLOOR OR GROUND. MIRRORS NOT LOCATED ABOVE LAVATORIES OR COUNTERTOPS SHALL BE INSTALLED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 35" MAX ABOVE THE FINISH FLOOR OR GROUND.

603.4 COAT HOOKS AND SHELVES. COAT HOOKS SHALL BE LOCATED WITHIN ONE OF THE REACH RANGES SPECIFIED IN 308. SHELVES SHALL BE LOCATED 40" MIN AND 48" MAX ABOVE THE FINISH FLOOR.

604 WATER CLOSETS AND TOILET COMPARTMENTS

604.2 LOCATION. THE WATER CLOSET SHALL BE POSITIONED WITH A WALL OR PARTITION TO THE REAR AND TO ONE SIDE. THE CENTERLINE OF THE WATER CLOSET SHALL BE 16" MIN TO 18" MAX FROM THE SIDEWALL OR PARTITION.

604.3 CLEARANCE. CLEARANCES AROUND WATER CLOSETS AND IN TOILET COMPARTMENTS SHALL COMPLY WITH 604.3.

604.3.1 SIZE. CLEARANCE AROUND A WATER CLOSET SHALL BE 60" MIN MEASURED PERPENDICULAR FROM THE SIDEWALL AND 5' 6" MIN MEASURED PERPENDICULAR FROM THE REAR WALL.

604.3.2 OVERLAP. THE REQUIRED CLEARANCE AROUND THE WATER CLOSET SHALL BE PERMITTED TO OVERLAP THE WATER CLOSET, ASSOCIATED GRAB BARS, DISPENSERS, SANITARY NAPKIN DISPOSAL UNITS, COAT HOOKS, SHELVES, ACCESSIBLE ROUTES, CLEAR FLOOR SPACE AND CLEARANCES REQUIRED AT OTHER FIXTURES, AND THE TURNING SPACE. NO OTHER FIXTURES OR OBSTRUCTIONS SHALL BE LOCATED WITHIN THE REQUIRED WATER CLOSET CLEARANCE.

EXCEPTION: IN RESIDENTIAL DWELLING UNITS, A LAVATORY COMPLYING WITH 606 SHALL BE PERMITTED ON THE REAR WALL 18" MIN FROM THE WATER CLOSET CENTERLINE WHERE THE CLEARANCE AT THE WATER CLOSET IS 66" MIN MEASURED PERPENDICULAR FROM THE REAR WALL.

604.4 SEATS. THE SEAT HEIGHT OF A WATER CLOSET ABOVE THE FINISH FLOOR SHALL BE 15" MIN AND 19" MAX MEASURED TO THE TOP OF THE SEAT. SEATS SHALL NOT BE SPRUNG TO RETURN TO A LIFTED POSITION.

604.5 GRAB BARS. GRAB BARS FOR WATER CLOSETS SHALL COMPLY WITH 609. GRAB BARS SHALL BE PROVIDED ON THE SIDE WALL CLOSEST TO THE WATER CLOSET AND ON THE REAR WALL.

2. IN RESIDENTIAL DWELLING UNITS, GRAB BARS SHALL NOT BE REQUIRED TO BE INSTALLED IN TOILET OR BATHROOMS PROVIDED THAT REINFORCEMENT HAS BEEN INSTALLED IN WALLS AND LOCATED SO AS TO PERMIT THE INSTALLATION OF GRAB BARS COMPLYING WITH 604.5.

604.5 .1 SIDE WALL. THE SIDE WALL GRAB BAR SHALL BE 42" LONG MIN. LOCATED 12" MAX FROM THE REAR WALL AND EXTENDING 5' 4" MIN FROM THE REAR WALL.

604.5 .2 REAR WALL. THE REAR WALL GRAB BAR SHALL BE 36" LONG MIN AND EXTEND FROM THE CENTERLINE OF THE WATER CLOSET 12" MIN ON ONE SIDE AND 24" MIN ON THE OTHER SIDE.

EXCEPTIONS:

1. THE REAR GRAB BAR SHALL BE PERMITTED TO BE 24" LONG MIN, CENTERED ON THE WATER CLOSET, WHERE WALL SPACE DOES NOT PERMIT A LENGTH OF 36" MIN DUE TO THE LOCATION OF A RECESSED FIXTURE ADJACENT TO THE WATER CLOSET.

604.6 FLUSH CONTROLS. FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC. HAND OPERATED FLUSH CONTROLS SHALL COMPLY WITH 309. FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET.

606 LAVATORIES AND SINKS

606.2 CLEAR FLOOR SPACE. A CLEAR FLOOR SPACE COMPLYING WITH 305, POSITIONED FOR A FORWARD APPROACH, AND KNEE AND TOE CLEARANCE COMPLYING WITH 306 SHALL BE PROVIDED.

EXCEPTIONS:

- A PARALLEL APPROACH COMPLYING WITH 305 SHALL BE PERMITTED TO A KITCHEN SINK IN A SPACE WHERE A COOK TOP OR CONVENTIONAL RANGE IS NOT PROVIDED AND TO WET BARS.
- IN RESIDENTIAL DWELLING UNITS, CABINETRY SHALL BE PERMITTED UNDER LAVATORIES AND KITCHEN SINK PROVIDED THAT ALL OF THE FOLLOWING CONDITIONS ARE MET:
  - THE CABINETRY CAN BE REMOVED WITHOUT REMOVAL OR REPLACEMENT OF THE FIXTURE;
  - THE FINISH FLOOR EXTENDS UNDER THE CABINETRY; AND
  - THE WALLS BEHIND AND SURROUNDING THE CABINETRY ARE FINISHED.
- THE DIP OF THE OVERFLOW SHALL NOT BE CONSIDERED IN DETERMINING KNEE AND TOE CLEARANCES.
- NO MORE THAN ONE BOWL OF A MULTI-BOWL SINK SHALL BE REQUIRED TO PROVIDE KNEE AND TOE CLEARANCE COMPLYING WITH 306.

606.3 HEIGHT. LAVATORIES AND SINKS SHALL BE INSTALLED WITH THE FRONT OF THE HIGHER OF THE RIM OR COUNTER SURFACE 34" MAX ABOVE THE FINISH FLOOR OR GROUND.

EXCEPTIONS:

- IN RESIDENTIAL DWELLING UNIT KITCHENS, SINKS THAT ARE ADJUSTABLE TO VARIABLE HEIGHTS, 29" MIN AND 36" MAX, SHALL BE PERMITTED WHERE ROUGH-IN PLUMBING PERMITS CONNECTIONS OF SUPPLY AND DRAIN PIPES FOR SINKS MOUNTED AT THE HEIGHT OF 29" .

606.4 FAUCETS. CONTROLS FOR FAUCETS SHALL COMPLY WITH 309. HAND-OPERATED METERING FAUCETS SHALL REMAIN OPEN FOR 10 SECONDS MIN

606.5 EXPOSED PIPES AND SURFACES. WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS.

607 BATHTUBS

607.2 CLEARANCE. CLEARANCE IN FRONT OF BATHTUBS SHALL EXTEND THE LENGTH OF THE BATHTUB AND SHALL BE 30" WIDE MIN. A LAVATORY COMPLYING WITH 606 SHALL BE PERMITTED AT THE CONTROL END OF THE CLEARANCE. WHERE A PERMANENT SEAT IS PROVIDED AT THE HEAD END OF THE BATHTUB, THE CLEARANCE SHALL EXTEND 12" MIN BEYOND THE WALL AT THE HEAD END OF THE BATHTUB.

607.3 SEAT. A PERMANENT SEAT AT THE HEAD END OF THE BATHTUB OR A REMOVABLE IN-TUB SEAT SHALL BE PROVIDED. SEATS SHALL COMPLY WITH 610.

607.4 GRAB BARS. GRAB BARS FOR BATHTUBS SHALL COMPLY WITH 609 AND SHALL BE PROVIDED IN ACCORDANCE WITH 607.4.1 OR 607.4.2.

EXCEPTIONS:

2. IN RESIDENTIAL DWELLING UNITS, GRAB BARS SHALL NOT BE REQUIRED TO BE INSTALLED IN BATHTUBS LOCATED IN BATHING FACILITIES PROVIDED THAT REINFORCEMENT HAS BEEN INSTALLED IN WALLS AND LOCATED SO AS TO PERMIT THE INSTALLATION OF GRAB BARS COMPLYING WITH 607.4.

607.4.1 BATHTUBS WITH PERMANENT SEATS. FOR BATHTUBS WITH PERMANENT SEATS, GRAB BARS SHALL BE PROVIDED IN ACCORDANCE WITH 607.4.1.

607.4.1.1 BACK WALL. TWO GRAB BARS SHALL BE INSTALLED ON THE BACK WALL, ONE LOCATED IN ACCORDANCE WITH 609.4 AND THE OTHER LOCATED 8" MIN AND 10" MAX ABOVE THE RIM OF THE BATHTUB. EACH GRAB BAR SHALL BE INSTALLED 15" MAX FROM THE HEAD END WALL AND 12" MAX FROM THE CONTROL END WALL.

607.4.1.2 CONTROL END WALL. A GRAB BAR 24" LONG MIN SHALL BE INSTALLED ON THE CONTROL END WALL AT THE FRONT EDGE OF THE BATHTUB.

607.4.2 BATHTUBS WITHOUT PERMANENT SEATS. FOR BATHTUBS WITHOUT PERMANENT SEATS, GRAB BARS SHALL COMPLY WITH 607.4.2.

607.4.2.1 BACK WALL. TWO GRAB BARS SHALL BE INSTALLED ON THE BACK WALL, ONE LOCATED IN ACCORDANCE WITH 609.4 AND OTHER LOCATED 8" MIN AND 10" MAX ABOVE THE RIM OF THE BATHTUB. EACH GRAB BAR SHALL BE 24" LONG MIN AND SHALL BE INSTALLED 24" MAX FROM THE HEAD END WALL AND 12" MAX FROM THE CONTROL END WALL.

607.4.2.2 CONTROL END WALL. A GRAB BAR 24" LONG MIN SHALL BE INSTALLED ON THE CONTROL END WALL AT THE FRONT EDGE OF THE BATHTUB.

607.4.2.3 HEAD END WALL. A GRAB BAR 12" LONG MIN SHALL BE INSTALLED ON THE HEAD END WALL AT THE FRONT EDGE OF THE BATHTUB.

607.5 CONTROLS. CONTROLS, OTHER THAN DRAIN STOPPERS, SHALL BE LOCATED ON AN END WALL. CONTROLS SHALL BE BETWEEN THE BATHTUB RIM AND GRAB BAR, AND BETWEEN THE OPEN SIDE OF THE BATHTUB AND THE CENTERLINE OF THE WIDTH OF THE BATHTUB. CONTROLS SHALL COMPLY WITH 309.4.

607.6 SHOWER SPRAY UNIT AND WATER. A SHOWER SPRAY UNIT WITH A HOSE 5' 9" LONG MIN THAT CAN BE USED BOTH AS A FIXED-POSITION SHOWER HEAD AND AS A HAND-HELD SHOWER SHALL BE PROVIDED. THE SHOWER SPRAY UNIT SHALL HAVE AN ON/OFF CONTROL WITH A NON-POSITIVE SHUT-OFF. IF AN ADJUSTABLE-HEIGHT SHOWER HEAD ON A VERTICAL BAR IS USED, THE BAR SHALL BE INSTALLED SO AS NOT TO OBSTRUCT THE USE OF GRAB BARS. BATHTUB SHOWER SPRAY UNITS SHALL DELIVER WATER THAT IS 120" F MAX.

607.7 BATHTUB ENCLOSURES. ENCLOSURES FOR BATHTUBS SHALL NOT OBSTRUCT CONTROLS, FAUCETS, SHOWER AND SPRAY UNITS OR OBSTRUCT TRANSFER FROM WHEELCHAIRS ONTO BATHTUB SEATS OR INTO BATHTUBS. ENCLOSURES ON BATHTUBS SHALL NOT HAVE TRACKS INSTALLED ON THE RIM OF THE OPEN FACE OF THE BATHTUB.

608 SHOWER COMPARTMENTS

608.2 SIZE AND CLEARANCES FOR SHOWER COMPARTMENTS. SHOWER COMPARTMENTS SHALL HAVE SIZES AND CLEARANCES COMPLYING WITH 608.2.

608.2.1 TRANSFER TYPE SHOWER COMPARTMENTS. TRANSFER TYPE SHOWER COMPARTMENTS SHALL BE 36" X 36" CLEAR INSIDE DIMENSIONS MEASURED AT THE CENTER POINTS OF OPPOSING SIDES AND SHALL HAVE A 36" WIDE MIN ENTRY ON THE FACE OF THE SHOWER

COMPARTMENT. CLEARANCE OF 36" WIDE MIN X 48" LONG MIN MEASURED FROM THE CONTROL WALL SHALL BE PROVIDED.

608.2.2 STANDARD ROLL-IN TYPE SHOWER COMPARTMENTS. STANDARD ROLL-IN TYPE SHOWER COMPARTMENTS SHALL BE 30" WIDE MIN X 60" DEEP MIN CLEAR INSIDE DIMENSIONS MEASURED AT CENTER POINTS OF OPPOSING SIDES AND SHALL HAVE A 60" WIDE MIN ENTRY ON THE FACE OF THE SHOWER COMPARTMENT.

608.2.2.1 CLEARANCE. A 30" WIDE MIN X 60" LONG MIN CLEARANCE SHALL BE PROVIDED ADJACENT TO THE OPEN FACE OF THE SHOWER COMPARTMENT.

EXCEPTION: A LAVATORY COMPLYING WITH 606 SHALL BE PERMITTED ON ONE 30" WIDE MIN SIDE OF THE CLEARANCE PROVIDED THAT IT IS NOT ON THE SIDE OF THE CLEARANCE ADJACENT TO THE CONTROLS OR, WHERE PROVIDED, NOT ON THE SIDE OF THE CLEARANCE ADJACENT TO THE SHOWER SEAT.

608.2.3 ALTERNATE ROLL-IN TYPE SHOWER COMPARTMENTS. ALTERNATE ROLL-IN TYPE SHOWER COMPARTMENTS SHALL BE 36" WIDE AND 60" DEEP MIN CLEAR INSIDE DIMENSIONS MEASURED AT CENTER POINTS OF OPPOSING SIDES. A 36" WIDE MIN ENTRY SHALL BE PROVIDED AT ONE END OF THE LONG SIDE OF THE COMPARTMENT.

608.3 GRAB BARS. GRAB BARS SHALL COMPLY WITH 609 AND SHALL BE PROVIDED IN ACCORDANCE WITH 608.3. WHERE MULTIPLE GRAB BARS ARE USED, REQUIRED HORIZONTAL GRAB BARS SHALL BE INSTALLED AT THE SAME HEIGHT ABOVE THE FINISH FLOOR.

EXCEPTIONS:

2. IN RESIDENTIAL DWELLING UNITS, GRAB BARS SHALL NOT BE REQUIRED TO BE INSTALLED IN SHOWERS LOCATED IN BATHING FACILITIES PROVIDED THAT REINFORCEMENT HAS BEEN INSTALLED IN WALLS AND LOCATED SO AS TO PERMIT THE INSTALLATION OF GRAB BARS COMPLYING WITH 608.3.

608.3.1 TRANSFER TYPE SHOWER COMPARTMENTS. IN TRANSFER TYPE COMPARTMENTS, GRAB BARS SHALL BE PROVIDED ACROSS THE CONTROL WALL AND BACK WALL TO A POINT 18" FROM THE CONTROL WALL.

608.3.2 STANDARD ROLL-IN TYPE SHOWER COMPARTMENTS. WHERE A SEAT IS PROVIDED IN STANDARD ROLL-IN TYPE SHOWER COMPARTMENTS, GRAB BARS SHALL BE PROVIDED ON THE BACK WALL AND THE SIDE WALL OPPOSITE THE SEAT. GRAB BARS SHALL NOT BE PROVIDED ABOVE THE SEAT. WHERE A SEAT IS NOT PROVIDED IN STANDARD ROLL-IN TYPE SHOWER COMPARTMENTS, GRAB BARS SHALL BE PROVIDED ON THREE WALLS. GRAB BARS SHALL BE INSTALLED 6" MAX FROM ADJACENT WALLS.

608.3.2 STANDARD ROLL-IN TYPE SHOWER COMPARTMENTS. WHERE A SEAT IS PROVIDED IN STANDARD ROLL-IN TYPE SHOWER COMPARTMENTS, GRAB BARS SHALL BE PROVIDED ON THE BACK WALL AND THE SIDE WALL OPPOSITE THE SEAT. GRAB BARS SHALL NOT BE PROVIDED ABOVE THE SEAT. WHERE A SEAT IS NOT PROVIDED IN STANDARD ROLL-IN TYPE SHOWER COMPARTMENTS, GRAB BARS SHALL BE PROVIDED ON THREE WALLS. GRAB BARS SHALL BE INSTALLED 6" MAX FROM ADJACENT WALLS.

608.3.3 ALTERNATE ROLL-IN TYPE SHOWER COMPARTMENTS. IN ALTERNATE ROLL-IN TYPE SHOWER COMPARTMENTS, GRAB BARS SHALL BE PROVIDED ON THE BACK WALL AND THE SIDE WALL FARTEST FROM THE COMPARTMENT ENTRY. GRAB BARS SHALL NOT BE PROVIDED ABOVE THE SEAT. GRAB BARS SHALL BE INSTALLED 6" FROM ADJACENT WALLS.

608.4 SEATS. IN RESIDENTIAL DWELLING UNITS, SEATS SHALL NOT BE REQUIRED IN TRANSFER TYPE SHOWER COMPARTMENTS PROVIDED THAT REINFORCEMENT HAS BEEN INSTALLED IN WALLS SO AS TO PERMIT THE INSTALLATION OF SEATS.

608.5 CONTROLS. CONTROLS, FAUCETS, AND SHOWER SPRAY UNITS SHALL COMPLY WITH 309.4.

608.5.1 TRANSFER TYPE SHOWER COMPARTMENTS. IN TRANSFER TYPE SHOWER COMPARTMENTS, THE CONTROLS, FAUCETS, AND SHOWER SPRAY UNIT SHALL BE INSTALLED ON THE SIDE WALL OPPOSITE THE SEAT 38" MIN AND 48" MAX ABOVE THE SHOWER FLOOR AND SHALL BE LOCATED ON THE CONTROL WALL 15" MAX FROM THE CENTERLINE OF THE SEAT TOWARD THE SHOWER OPENING.

608.5.2 STANDARD ROLL-IN TYPE SHOWER COMPARTMENTS. IN STANDARD ROLL-IN TYPE SHOWER COMPARTMENTS, THE CONTROLS, FAUCETS, AND SHOWER SPRAY UNIT SHALL BE LOCATED ABOVE THE GRAB BAR, BUT NO HIGHER THAN 48" ABOVE THE SHOWER FLOOR. WHERE A SEAT IS PROVIDED, THE CONTROLS, FAUCETS, AND SHOWER SPRAY UNIT SHALL BE INSTALLED ON THE BACK WALL ADJACENT TO THE SEAT WALL AND SHALL BE LOCATED 27" MAX FROM THE SEAT WALL.

608.5.3 ALTERNATE ROLL-IN TYPE SHOWER COMPARTMENTS. IN ALTERNATE ROLL-IN TYPE SHOWER COMPARTMENTS, THE CONTROLS, FAUCETS, AND SHOWER SPRAY UNIT SHALL BE LOCATED ABOVE THE GRAB BAR, BUT NO HIGHER THAN 48" ABOVE THE SHOWER FLOOR. WHERE A SEAT IS PROVIDED, THE CONTROLS, FAUCETS, AND SHOWER SPRAY UNIT SHALL BE LOCATED ON THE SIDE WALL ADJACENT TO THE SEAT 27" MAX FROM THE SIDE WALL BEHIND THE SEAT OR SHALL BE LOCATED ON THE BACK WALL OPPOSITE THE SEAT 15" MAX. LEFT OR RIGHT, OF THE CENTERLINE OF THE SEAT. WHERE A SEAT IS NOT PROVIDED, THE CONTROLS, FAUCETS, AND SHOWER SPRAY UNIT SHALL BE INSTALLED ON THE SIDE WALL FARTEST FROM THE COMPARTMENT ENTRY.

608.6 SHOWER SPRAY UNIT AND WATER. A SHOWER SPRAY UNIT WITH A HOSE 5' 9" LONG MIN THAT CAN BE USED BOTH AS A FIXED-POSITION SHOWER HEAD AND AS A HAND-HELD SHOWER SHALL BE PROVIDED. THE SHOWER SPRAY UNIT SHALL HAVE AN ON/OFF CONTROL WITH A NON-POSITIVE SHUT-OFF. IF AN ADJUSTABLE-HEIGHT SHOWER HEAD ON A VERTICAL BAR IS USED, THE BAR SHALL BE INSTALLED SO AS NOT TO OBSTRUCT THE USE OF GRAB BARS. SHOWER SPRAY UNITS SHALL DELIVER WATER THAT IS 120" F MAX.

608.7 THRESHOLDS. THRESHOLDS IN ROLL-IN TYPE SHOWER COMPARTMENTS SHALL BE HIGH MAX IN ACCORDANCE WITH 303. IN TRANSFER TYPE SHOWER COMPARTMENTS, THRESHOLDS HIGH MAX SHALL BE BEVELED, ROUNDED, OR VERTICAL. EXCEPTION: A THRESHOLD 2" HIGH MAX SHALL BE PERMITTED IN TRANSFER TYPE SHOWER COMPARTMENTS IN EXISTING FACILITIES WHERE PROVISION OF A HIGH THRESHOLD WOULD DISTURB THE STRUCTURAL REINFORCEMENT OF THE FLOOR SLAB.

608.8 SHOWER ENCLOSURES. ENCLOSURES FOR SHOWER COMPARTMENTS SHALL NOT OBSTRUCT CONTROLS, FAUCETS, AND SHOWER SPRAY UNITS OR OBSTRUCT TRANSFER FROM WHEELCHAIRS ONTO SHOWER SEATS.

609 GRAB BARS

609.2 CROSS SECTION. GRAB BARS SHALL HAVE A CROSS SECTION COMPLYING WITH 609.2.1 OR 609.2.2.

609.2.1 CIRCULAR CROSS SECTION. GRAB BARS WITH CIRCULAR CROSS SECTIONS SHALL HAVE AN OUTSIDE DIAMETER OF 1" MIN AND 2" MAX.

609.2.2 NON-CIRCULAR CROSS SECTION. GRAB BARS WITH NON-CIRCULAR CROSS SECTIONS SHALL HAVE A CROSS-SECTION DIMENSION OF 2" MAX AND A PERIMETER DIMENSION OF 4" MIN AND 4.8" MAX.

609.3 SPACING. THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1" . THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS BELOW AND AT THE ENDS SHALL BE 1" MIN. THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS ABOVE SHALL BE 12" MIN. EXCEPTION: THE SPACE BETWEEN THE GRAB BARS AND SHOWER CONTROLS, SHOWER FITTINGS, AND OTHER GRAB BARS ABOVE SHALL BE PERMITTED TO BE 1" MIN.

609.4 POSITION OF GRAB BARS. GRAB BARS SHALL BE INSTALLED IN A HORIZONTAL POSITION, 33" MIN AND 36" MAX ABOVE THE FINISH FLOOR MEASURED TO THE TOP OF THE GRIPPING SURFACE. THE HEIGHT OF THE LOWER GRAB BAR ON THE BACK WALL OF A BATHTUB SHALL COMPLY WITH 607.4.1.1 OR 607.4.2.1.

609.5 SURFACE HAZARDS. GRAB BARS AND ANY WALL OR OTHER SURFACES ADJACENT TO GRAB BARS SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS AND SHALL HAVE ROUNDED EDGES.

609.6 FITTINGS. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

609.7 INSTALLATION. GRAB BARS SHALL BE INSTALLED IN ANY MANNER THAT PROVIDES A GRIPPING SURFACE AT THE SPECIFIED LOCATIONS AND THAT DOES NOT OBSTRUCT THE REQUIRED CLEAR FLOOR SPACE.

609.8 STRUCTURAL STRENGTH. ALLOWABLE STRESSES SHALL NOT BE EXCEEDED FOR MATERIALS USED WHEN A VERTICAL OR HORIZONTAL FORCE OF 250 POUNDS IS APPLIED AT ANY POINT ON THE GRAB BAR, FASTENER, MOUNTING DEVICE, OR SUPPORTING STRUCTURE.

610 SEATS

610.2 BATHTUB SEATS. THE TOP OF BATHTUB SEATS SHALL BE 17" MIN AND 19" MAX ABOVE THE BATHROOM FINISH FLOOR. THE DEPTH OF A REMOVABLE IN-TUB SEAT SHALL BE 15" MIN AND 16" MAX. THE SEAT SHALL BE CAPABLE OF SECURE PLACEMENT. PERMANENT SEATS AT THE HEAD END OF THE BATHTUB SHALL BE 15" DEEP MIN AND SHALL EXTEND FROM THE BACK WALL TO OR BEYOND THE OUTER EDGE OF THE BATHTUB.

610.3 SHOWER COMPARTMENT SEATS. WHERE A SEAT IS PROVIDED IN A STANDARD ROLL-IN SHOWER COMPARTMENT, IT SHALL BE A FOLDING TYPE, SHALL BE INSTALLED ON THE SIDE WALL ADJACENT TO THE CONTROLS, AND SHALL EXTEND FROM THE BACK WALL TO A POINT WITHIN 3" ( 75" MM) OF THE COMPARTMENT ENTRY. WHERE A SEAT IS PROVIDED IN AN ALTERNATE ROLL-IN TYPE SHOWER COMPARTMENT, IT SHALL BE A FOLDING TYPE, SHALL BE INSTALLED ON THE FRONT WALL OPPOSITE THE BACK WALL, AND SHALL EXTEND FROM THE ADJACENT SIDE WALL TO A POINT WITHIN 3" ( 75" MM) OF THE COMPARTMENT ENTRY. IN TRANSFER-TYPE SHOWERS, THE SEAT SHALL EXTEND FROM THE BACK WALL TO A POINT WITHIN 3" ( 75" MM) OF THE COMPARTMENT ENTRY. THE TOP OF THE SEAT SHALL BE 17" MIN AND 19" MAX ABOVE THE BATHROOM FINISH FLOOR. SEATS SHALL COMPLY WITH 610.3.1 OR 610.3.2.

610.3.1 RECTANGULAR SEATS. THE REAR EDGE OF A RECTANGULAR SEAT SHALL BE 2" MAX AND THE FRONT EDGE 15" MIN AND 16" MAX FROM THE SEAT WALL. THE SIDE EDGE OF THE SEAT SHALL BE 1" MAX FROM THE ADJACENT WALL.

610.3.2 L-SHAPED SEATS. THE REAR EDGE OF AN L-SHAPED SEAT SHALL BE 2" MAX AND THE FRONT EDGE 15" MIN AND 16" MAX FROM THE SEAT WALL. THE REAR EDGE OF THE L PORTION OF THE SEAT SHALL BE 1" MAX FROM THE WALL AND THE FRONT EDGE SHALL BE 14" MIN AND 15" MAX FROM THE WALL. THE END OF THE L SHALL BE 22" MIN AND 23" MAX FROM THE MAIN SEAT WALL.

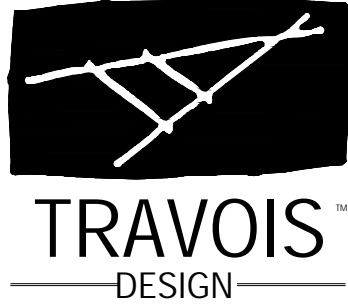
610.4 STRUCTURAL STRENGTH. ALLOWABLE STRESSES SHALL NOT BE EXCEEDED FOR MATERIALS USED WHEN A VERTICAL OR HORIZONTAL FORCE OF 250 POUNDS IS APPLIED AT ANY POINT ON THE SEAT, FASTENER, MOUNTING DEVICE, OR SUPPORTING STRUCTURE.

611 WASHING MACHINES AND CLOTHES DRYERS

611.2 CLEAR FLOOR SPACE. A CLEAR FLOOR OR GROUND SPACE COMPLYING WITH 305 POSITIONED FOR PARALLEL APPROACH SHALL BE PROVIDED. THE CLEAR FLOOR OR GROUND SPACE SHALL BE CENTERED ON THE APPLIANCE.

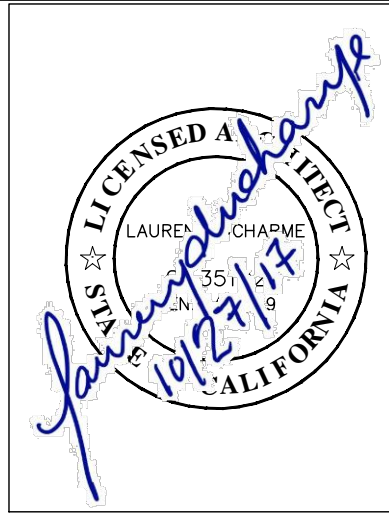
611.3 OPERABLE PARTS. OPERABLE PARTS, INCLUDING DOORS, LINT SCREENS, AND DETERGENT AND BLEACH COMPARTMENTS SHALL COMPLY WITH 309.

611.4 HEIGHT. TOP LOADING MACHINES SHALL HAVE THE DOOR TO THE LAUNDRY COMPARTMENT LOCATED 36" MAX ABOVE THE FINISH FLOOR. FRONT LOADING MACHINES SHALL HAVE THE BOTTOM OF THE OPENING TO THE LAUNDRY COMPARTMENT LOCATED 15" MIN AND 36" MAX ABOVE THE FINISH FLOOR.



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FOR CONSTRUCTION 10/27/17

SHEET

AN2

ADA NOTES

804 KITCHENS AND KITCHENETTES

804.2 CLEARANCE. WHERE A PASS THROUGH KITCHEN IS PROVIDED, CLEARANCES SHALL COMPLY WITH 804.2.1. WHERE A U-SHAPED KITCHEN IS PROVIDED, CLEARANCES SHALL COMPLY WITH 804.2.2.

EXCEPTION: SPACES THAT DO NOT PROVIDE A COOKTOP OR CONVENTIONAL RANGE SHALL NOT BE REQUIRED TO COMPLY WITH 804.2.

804.2.1 PASS THROUGH KITCHEN. IN PASS THROUGH KITCHENS WHERE COUNTERS, APPLIANCES OR CABINETS ARE ON TWO OPPOSING SIDES, OR WHERE COUNTERS, APPLIANCES OR CABINETS ARE OPPOSITE A PARALLEL WALL, CLEARANCE BETWEEN ALL OPPOSING BASE CABINETS, COUNTER TOPS, APPLIANCES, OR WALLS WITHIN KITCHEN WORK AREAS SHALL BE 40 MIN PASS THROUGH KITCHENS SHALL HAVE TWO ENTRIES.

804.2.2 U-SHAPED. IN U-SHAPED KITCHENS ENCLOSED ON THREE CONTIGUOUS SIDES, CLEARANCE BETWEEN ALL OPPOSING BASE CABINETS, COUNTER TOPS, APPLIANCES, OR WALLS WITHIN KITCHEN WORK AREAS SHALL BE 60 MIN. 804.3 KITCHEN WORK SURFACE. IN RESIDENTIAL DWELLING UNITS REQUIRED TO COMPLY WITH 809, AT LEAST ONE 30 WIDE MIN SECTION OF COUNTER SHALL PROVIDE A KITCHEN WORK SURFACE THAT COMPLIES WITH 804.3.

804.3.1 CLEAR FLOOR OR GROUND SPACE. A CLEAR FLOOR SPACE COMPLYING WITH 305 POSITIONED FOR A FORWARD APPROACH SHALL BE PROVIDED. THE CLEAR FLOOR OR GROUND SPACE SHALL BE CENTERED ON THE KITCHEN WORK SURFACE AND SHALL PROVIDE KNEE AND TOE CLEARANCE COMPLYING WITH 306.

EXCEPTION: CABINETRY SHALL BE PERMITTED UNDER THE KITCHEN WORK SURFACE PROVIDED THAT ALL OF THE FOLLOWING CONDITIONS ARE MET:

- (a)THE CABINETRY CAN BE REMOVED WITHOUT REMOVAL OR REPLACEMENT OF THE KITCHEN WORK SURFACE;
- (b)THE FINISH FLOOR EXTENDS UNDER THE CABINETRY; AND
- (c)THE WALLS BEHIND AND SURROUNDING THE CABINETRY ARE FINISHED.

804.3.2 HEIGHT. THE KITCHEN WORK SURFACE SHALL BE 34 MAX ABOVE THE FINISH FLOOR OR GROUND.

EXCEPTION: A COUNTER THAT IS ADJUSTABLE TO PROVIDE A KITCHEN WORK SURFACE AT VARIABLE HEIGHTS, 29 MIN AND 36 MAX, SHALL BE PERMITTED.

804.3.3 EXPOSED SURFACES. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER THE WORK SURFACE COUNTERS.

804.5 STORAGE. AT LEAST 50 PERCENT OF SHELF SPACE IN STORAGE FACILITIES SHALL COMPLY WITH 811.

804.6 APPLIANCES. WHERE PROVIDED, KITCHEN APPLIANCES SHALL COMPLY WITH 804.6.

804.6.1 CLEAR FLOOR OR GROUND SPACE. A CLEAR FLOOR OR GROUND SPACE COMPLYING WITH 305 SHALL BE PROVIDED AT EACH KITCHEN APPLIANCE. CLEAR FLOOR OR GROUND SPACES SHALL BE PERMITTED TO OVERLAP.

804.6.2 OPERABLE PARTS. ALL APPLIANCE CONTROLS SHALL COMPLY WITH 309. EXCEPTIONS:

- 1. APPLIANCE DOORS AND DOOR LATCHING DEVICES SHALL NOT BE REQUIRED TO COMPLY WITH 309.4.
- 2. BOTTOM-HINGED APPLIANCE DOORS, WHEN IN THE OPEN POSITION, SHALL NOT BE REQUIRED TO COMPLY WITH 309.3.

804.6.3 DISHWASHER. CLEAR FLOOR OR GROUND SPACE SHALL BE POSITIONED ADJACENT TO THE DISHWASHER DOOR. THE DISHWASHER DOOR, IN THE OPEN POSITION, SHALL NOT OBSTRUCT THE CLEAR FLOOR OR GROUND SPACE FOR THE DISHWASHER OR THE SINK.

804.6.4 RANGE OR COOKTOP. WHERE A FORWARD APPROACH IS PROVIDED, THE CLEAR FLOOR OR GROUND SPACE SHALL PROVIDE KNEE AND TOE CLEARANCE COMPLYING WITH 306. WHERE KNEE AND TOE SPACE IS PROVIDED, THE UNDERSIDE OF THE RANGE OR COOKTOP SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PREVENT BURNS, ABRASIONS, OR ELECTRICAL SHOCK. THE LOCATION OF CONTROLS SHALL NOT REQUIRE REACHING ACROSS BURNERS.

804.6.5 OVENS

804.6.5.1 SIDE-HINGED DOOR OVENS. SIDE-HINGED DOOR OVENS SHALL HAVE THE WORK SURFACE REQUIRED BY 804.3 POSITIONED ADJACENT TO THE LATCH SIDE OF THE OVEN DOOR.

804.6.5.2 BOTTOM-HINGED DOOR OVENS. BOTTOM-HINGED DOOR OVENS SHALL HAVE THE WORK SURFACE REQUIRED BY 804.3 POSITIONED ADJACENT TO ONE SIDE OF THE DOOR.

804.6.5.3 CONTROLS. OVENS SHALL HAVE CONTROLS ON FRONT PANELS.

804.6.6 REFRIGERATOR/FREEZER. COMBINATION REFRIGERATORS AND FREEZERS SHALL HAVE AT LEAST 5 0 PERCENT OF THE FREEZER SPACE 5 4 MAX ABOVE THE FINISH FLOOR OR GROUND. THE CLEAR FLOOR OR GROUND SPACE SHALL BE POSITIONED FOR A PARALLEL APPROACH TO THE SPACE DEDICATED TO A REFRIGERATOR/ FREEZER WITH THE CENTERLINE OF THE CLEAR FLOOR OR GROUND SPACE OFFSET 24 MAX FROM THE CENTERLINE OF THE DEDICATED SPACE.

809 MISC. - RESIDENTIAL DWELLING UNITS

809.2 ACCESSIBLE ROUTES. ACCESSIBLE ROUTES COMPLYING WITH CHAPTER 4 SHALL BE PROVIDED WITHIN RESIDENTIAL DWELLING UNITS IN ACCORDANCE WITH 809.2.

EXCEPTION: ACCESSIBLE ROUTES SHALL NOT BE REQUIRED TO OR WITHIN UNFINISHED ATTICS OR UNFINISHED BASEMENTS.

809.2.1 LOCATION. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ALL SPACES AND ELEMENTS WHICH ARE A PART OF THE RESIDENTIAL DWELLING UNIT. WHERE ONLY ONE ACCESSIBLE ROUTE IS PROVIDED, IT SHALL NOT PASS THROUGH BATHROOMS, CLOSETS, OR SIMILAR SPACES.

809.2.2 TURNING SPACE. ALL ROOMS SERVED BY AN ACCESSIBLE ROUTE SHALL PROVIDE A TURNING SPACE COMPLYING WITH 304.

EXCEPTION: TURNING SPACE SHALL NOT BE REQUIRED IN EXTERIOR SPACES 30 MAX IN DEPTH OR WIDTH.

809.4 TOILET FACILITIES AND BATHING FACILITIES. AT LEAST ONE BATHROOM SHALL COMPLY WITH 603. NO FEWER THAN ONE OF EACH TYPE OF FIXTURE PROVIDED SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF 603 THROUGH 610. TOILET AND BATHING FIXTURES REQUIRED TO COMPLY WITH 603 THROUGH 610 SHALL BE LOCATED IN THE SAME TOILET AND BATHING AREA, SUCH THAT TRAVEL BETWEEN FIXTURES DOES NOT REQUIRE TRAVEL BETWEEN OTHER PARTS OF THE RESIDENTIAL DWELLING UNIT.

811 STORAGE

811.1 GENERAL. STORAGE SHALL COMPLY WITH 811.

811.2 CLEAR FLOOR OR GROUND SPACE. A CLEAR FLOOR OR GROUND SPACE COMPLYING WITH 305 SHALL BE PROVIDED.

811.3 HEIGHT. STORAGE ELEMENTS SHALL COMPLY WITH AT LEAST ONE OF THE REACH RANGES SPECIFIED IN 308.

811.4 OPERABLE PARTS. OPERABLE PARTS SHALL COMPLY WITH 309.

CHAPTER 9: BUILT-IN ELEMENTS

902 DINING SURFACES AND WORK SURFACES

902.2 CLEAR FLOOR OR GROUND SPACE. A CLEAR FLOOR SPACE COMPLYING WITH 305 POSITIONED FOR A FORWARD APPROACH SHALL BE PROVIDED. KNEE AND TOE CLEARANCE COMPLYING WITH 306 SHALL BE PROVIDED.

902.3 HEIGHT. THE TOPS OF DINING SURFACES AND WORK SURFACES SHALL BE 28 MIN AND 34 MAX ABOVE THE FINISH FLOOR OR GROUND.

215 FIRE ALARM SYSTEMS

VISIBLE ALARMS MUST BE LOCATED WITHIN THE SPACE THEY SERVE SO THAT THE SIGNAL IS VISIBLE. FACILITY ALARM SYSTEMS (OTHER THAN FIRE ALARM SYSTEMS) SUCH AS THOSE USED FOR TORNADO WARNINGS AND OTHER EMERGENCIES ARE NOT REQUIRED TO COMPLY WITH THE TECHNICAL CRITERIA FOR ALARMS IN SECTION 702. EVERY EFFORT SHOULD BE MADE TO ENSURE THAT SUCH ALARMS CAN BE DIFFERENTIATED IN THEIR SIGNAL FROM FIRE ALARMS SYSTEMS AND THAT PEOPLE WHO NEED TO BE NOTIFIED OF EMERGENCIES ARE ADEQUATELY SAFEGUARDED. CONSULT LOCAL FIRE DEPARTMENTS AND PREPARE EVACUATION PLANS TAKING INTO CONSIDERATION THE NEEDS OF EVERY BUILDING OCCUPANT, INCLUDING PEOPLE WITH DISABILITIES.

702 FIRE ALARM SYSTEMS

702.1 GENERAL. FIRE ALARM SYSTEMS SHALL HAVE PERMANENTLY INSTALLED AUDIBLE AND VISIBLE ALARMS COMPLYING WITH NFPA 72 (1999 OR 2002 EDITION) IN ADDITION, THE MAX ALLOWABLE SOUND LEVEL OF AUDIBLE NOTIFICATION APPLIANCES COMPLYING WITH SECTION 4-3.2.1 OF NFPA 72 (1999 EDITION) SHALL HAVE A SOUND LEVEL NO MORE THAN 110 DB AT THE MIN HEARING DISTANCE FROM THE AUDIBLE APPLIANCE. IN ADDITION, ALARMS IN GUEST ROOMS REQUIRED TO PROVIDE COMMUNICATION FEATURES SHALL COMPLY WITH SECTIONS 4-3 AND 4-4 OF NFPA 72 (1999 EDITION) OR SECTIONS 7.4 AND 7.5 OF NFPA 72 (2002 EDITION).

703 SIGNAGE ADDITIONAL INFORMATION AVAILABLE AS REQUIRED.

705 DETECTABLE WARNING:

705.1 GENERAL. DETECTABLE WARNINGS SHALL CONSIST OF A SURFACE OF TRUNCATED DOMES AND SHALL COMPLY WITH 705.

705.1.1 DOME SIZE. TRUNCATED DOMES IN A DETECTABLE WARNING SURFACE SHALL HAVE A BASE DIAMETER OF 0.9 MIN AND 1.4 MAX, A TOP DIAMETER OF 5 0 PERCENT OF THE BASE DIAMETER MIN TO 65 PERCENT OF THE BASE DIAMETER MAX, AND A HEIGHT OF 0.2 .

705.1.2 DOME SPACING. TRUNCATED DOMES IN A DETECTABLE WARNING SURFACE SHALL HAVE A CENTER-TO- CENTER SPACING OF 1.6 MIN AND 2.4 MAX, AND A BASE-TO- BASE SPACING OF 0.65 MIN, MEASURED BETWEEN THE MOST ADJ ACENT DOMES ON A SQUARE GRID.

705.1.3 CONTRAST. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.

705.2 PLATFORM EDGES. DETECTABLE WARNING SURFACES AT PLATFORM BOARDING EDGES SHALL BE 24 WIDE AND SHALL EXTEND THE FULL LENGTH OF THE PUBLIC USE AREAS OF THE PLATFORM.

706 ASSISTIVE LISTENING SYSTEMS

706.2 RECEIVER J ACKS. RECEIVERS REQUIRED FOR USE WITH AN ASSISTIVE LISTENING SYSTEM SHALL INCLUDE A 1/8 STANDARD MONO J ACK.

706.3 RECEIVER HEARING-AID COMPATIBILITY. RECEIVERS REQUIRED TO BE HEARING-AID COMPATIBLE SHALL INTERFACE WITH TELECOILS IN HEARING AIDS THROUGH THE PROVISION OF NECKLOOPS.

706.4 SOUND PRESSURE LEVEL. ASSISTIVE LISTENING SYSTEMS SHALL BE CAPABLE OF PROVIDING A SOUND PRESSURE LEVEL OF 110 DB MIN AND 118 DB MAX WITH A DYNAMIC RANGE ON THE VOLUME CONTROL OF 50 DB.

706.5 SIGNAL-TO-NOISE RATIO. THE SIGNAL-TO-NOISE RATIO FOR INTERNALLY GENERATED NOISE IN ASSISTIVE LISTENING SYSTEMS SHALL BE 18 DB MIN

706.6 PEAK CLIPPING LEVEL. PEAK CLIPPING SHALL NOT EXCEED 18 DB OF CLIPPING RELATIVE TO THE PEAKS OF SPEECH.

708 2-WAY COMMUNICATION SYSTEMS

708.2 AUDIBLE AND VISUAL INDICATORS. THE SYSTEM SHALL PROVIDE BOTH AUDIBLE AND VISUAL SIGNALS.

708.3 HANDSETS. HANDSET CORDS, IF PROVIDED, SHALL BE 29 ( 735 MM) LONG MIN

708.4 RESIDENTIAL DWELLING UNIT COMMUNICATION SYSTEMS.

708.4.1 COMMON USE OR PUBLIC USE SYSTEM INTERFACE. THE COMMON USE OR PUBLIC USE SYSTEM INTERFACE SHALL INCLUDE THE CAPABILITY OF SUPPORTING VOICE AND TTY COMMUNICATION WITH THE RESIDENTIAL DWELLING UNIT INTERFACE.

708.4.2 RESIDENTIAL DWELLING UNIT INTERFACE. THE RESIDENTIAL DWELLING UNIT SYSTEM INTERFACE SHALL INCLUDE A TELEPHONE JACK CAPABLE OF SUPPORTING VOICE AND TTY COMMUNICATION WITH THE COMMON USE OR PUBLIC USE SYSTEM INTERFACE.

809 COMMUNICATION FEATURES

809.5.1 BUILDING FIRE ALARM SYSTEM. WHERE A BUILDING FIRE ALARM SYSTEM IS PROVIDED, THE SYSTEM WIRING SHALL BE EXTENDED TO A POINT WITHIN THE RESIDENTIAL DWELLING UNIT IN THE VICINITY OF THE RESIDENTIAL DWELLING UNIT SMOKE DETECTION SYSTEM.

809.5.1.1 ALARM APPLIANCES. WHERE ALARM APPLIANCES ARE PROVIDED WITHIN A RESIDENTIAL DWELLING UNIT AS PART OF THE BUILDING FIRE ALARM SYSTEM, THEY SHALL COMPLY WITH 702.

809.5.1.2 ACTIVATION. ALL VISIBLE ALARM APPLIANCES PROVIDED WITHIN THE RESIDENTIAL DWELLING UNIT FOR BUILDING FIRE ALARM NOTIFICATION SHALL BE ACTIVATED UPON ACTIVATION OF THE BUILDING FIRE ALARM IN THE PORTION OF THE BUILDING CONTAINING THE RESIDENTIAL DWELLING UNIT.

809.5.2 RESIDENTIAL DWELLING UNIT SMOKE DETECTION SYSTEM. RESIDENTIAL DWELLING UNIT SMOKE DETECTION SYSTEMS SHALL COMPLY WITH NFPA 72 (1999 OR 2002 EDITION).

809.5.2.1 ACTIVATION. ALL VISIBLE ALARM APPLIANCES PROVIDED WITHIN THE RESIDENTIAL DWELLING UNIT FOR SMOKE DETECTION NOTIFICATION SHALL BE ACTIVATED UPON SMOKE DETECTION.

809.5.3 INTERCONNECTION. THE SAME VISIBLE ALARM APPLIANCES SHALL BE PERMITTED TO PROVIDE NOTIFICATION OF RESIDENTIAL DWELLING UNIT SMOKE DETECTION AND BUILDING FIRE ALARM ACTIVATION.

809.5.4 PROHIBITED USE. VISIBLE ALARM APPLIANCES USED TO INDICATE RESIDENTIAL DWELLING UNIT SMOKE DETECTION OR BUILDING FIRE ALARM ACTIVATION SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHIN THE RESIDENTIAL DWELLING UNIT.

809.5.5 RESIDENTIAL DWELLING UNIT PRIMARY ENTRANCE. COMMUNICATION FEATURES SHALL BE PROVIDED AT THE RESIDENTIAL DWELLING UNIT PRIMARY ENTRANCE COMPLYING WITH 809.5.5.

809.5.5.1 NOTIFICATION. A HARD-WIRED ELECTRIC DOORBELL SHALL BE PROVIDED. A BUTTON OR SWITCH SHALL BE PROVIDED OUTSIDE THE RESIDENTIAL DWELLING UNIT PRIMARY ENTRANCE. ACTIVATION OF THE BUTTON OR SWITCH SHALL INITIATE AN AUDIBLE TONE AND VISIBLE SIGNAL WITHIN THE RESIDENTIAL DWELLING UNIT. WHERE VISIBLE DOORBELL SIGNALS ARE LOCATED IN SLEEPING AREAS, THEY SHALL HAVE CONTROLS TO DEACTIVATE THE SIGNAL.

809.5.5.2 IDENTIFICATION. A MEANS FOR VISUALLY IDENTIFYING A VISITOR WITHOUT OPENING THE RESIDENTIAL DWELLING UNIT ENTRY DOOR SHALL BE PROVIDED AND SHALL ALLOW FOR A MIN 180 DEGREE RANGE OF VIEW.

809.5.6 SITE, BUILDING, OR FLOOR ENTRANCE. WHERE A SYSTEM, INCLUDING A CLOSED-CIRCUIT SYSTEM, PERMITTING VOICE COMMUNICATION BETWEEN A VISITOR AND THE OCCUPANT OF THE RESIDENTIAL DWELLING UNIT IS PROVIDED, THE SYSTEM SHALL COMPLY WITH 708.4.

STEPLESS ENTRANCES

- AT LEAST ONE STEPLESS ENTRANCE IS ESSENTIAL.
- MORE THAN ONE STEPLESS ENTRANCE IS PREFERRED.
- IF ONLY ONE, NOT THROUGH A GARAGE OR FROM A PATIO OR RAISED DECK.
- LEVEL BRIDGES TO UPHILL POINT.
- DRIVEWAY AND GARAGE ELEVATED TO FLOOR LEVEL SO VEHICLES DO THE CLIMBING.
- EARTH BERM AND BRIDGE WITH SLOPING WALK.
- SITE GRADING AND EARTH WORK (WITH FOUNDATION WATERPROOFING) AND SLOPING WALKS AT 1:20 MAXIMUM SLOPE.

ENTRANCE FEATURES

- ONE-HALF INCH MAXIMUM RISE AT ENTRANCE THRESHOLDS.
- MINIMUM 5 X 5 LEVEL CLEAR SPACE INSIDE AND OUTSIDE ENTRY DOOR. ( CAN BE SMALLER IF AUTOMATIC POWER DOOR PROVIDED.)
- POWER DOOR OPERATORS WHENEVER POSSIBLE.
- WEATHER PROTECTION SUCH AS A PORCH, STOOP WITH ROOF, AWNING, LONG ROOF OVERHANG, AND/OR CARPORT.
- BUILT-IN SHELF, BENCH OR TABLE WITH KNEE SPACE BELOW LOCATED OUTSIDE THE DOOR.
- FULL LENGTH SIDELIGHTS, WINDOWS IN DOORS, AND/OR WINDOWS NEARBY.
- WIDE-ANGLE VIEWERS AND TV MONITORS.
- LIGHTED DOORBELL AT A REACHABLE HEIGHT. INTERCOM WITH PORTABLE TELEPHONE LINK, AND/OR HARDWIRED INTERCOM.
- LIGHT OUTSIDE ENTRY DOOR AND MOTION DETECTOR CONTROLLED LIGHTS.
- HOUSE NUMBER SHOULD BE LARGE, HIGH CONTRAST, LOCATED IN A PROMINENT PLACE.

INTERIOR CIRCULATION

- AN OPEN PLAN DESIGN.
- AT LEAST ONE BEDROOM AND ACCESSIBLE BATHROOM SHOULD BE LOCATED ON AN ACCESSIBLE GROUND FLOOR ENTRY LEVEL (SAME LEVEL AS KITCHEN, LIVING ROOM, ETC.).
- CLEAR DOOR OPENING WIDTH ( 32 MINIMUM, 34 -36 WIDE DOORS) , FOR ALL DOORWAYS.
- FLUSH THRESHOLDS AT ALL DOORWAYS.
- CLEAR FLOOR SPACE ( 18 MINIMUM) BESIDE DOOR ON PULL SIDE AT LATCH J AMB.
- CIRCULATION ROUTE 42 MINIMUM WIDTH.
- TURNING SPACE IN ALL ROOMS ( 5 DIAMETER) .

VERTICAL CIRCULATION

- ALL STAIRS SHOULD BE APPROPRIATE WIDTH AND HAVE SPACE AT THE BOTTOM FOR LATER INSTALLATION OF A PLATFORM LIFT, IF NEEDED.
- IF A TWO-STORY DWELLING: AT LEAST ONE SET OF STACKED CLOSETS, PANTRIES, OR STORAGE SPACES WITH KNOCKOUT FLOOR OR A RESIDENTIAL ELEVATOR WITH MINIMUM 3 X 4 CLEAR FLOOR AREA INSTALLED AT THE TIME OF INITIAL CONSTRUCTION.
- STAIR HANDRAILS TO EXTEND HORIZONTALLY BEYOND TOP AND BOTTOM RISERS.
- STEADY STAIRS AT TOP AND BOTTOM OF STAIRS

BATHROOMS

- WHEN MORE THAN ONE BATHROOM IS PROVIDED, ALL SHOULD MEET THE FOLLOWING CRITERIA. INC. BATHROOMS ON THE SECOND FLOOR.
- AT LEAST ONE BATHROOM MUST HAVE ONE OF THE FOLLOWING ACCESSIBLE BATHING FIXTURES: MINIMUM 5 X 3 ( 4 PREFERRED) , CURBLESS SHOWER OR TUB WITH INTEGRAL SEAT, WATERPROOF FLOOR, AND A FLOOR DRAIN.
- OTHER BATHROOMS IN THE SAME HOUSE MAY HAVE A TUB WITH AN INTEGRAL SEAT OR A 3 X 3 TRANSFER SHOWER WITH L SHAPED FOLDING SEAT AND 1/2 MAXIMUM LIP ( CURB) IN LIEU OF FIXTURES DESCRIBED ABOVE. WHEN POSSIBLE, ARRANGE AT LEAST ONE SHOWER CONTROL FOR RIGHT-HAND USE AND ONE FOR LEFT-HAND USE.
- ADEQUATE MANEUVERING SPACE: 60 TURNING SPACE IN THE ROOM AND 30 X 48 CLEAR FLOOR SPACES AT EACH FIXTURE. SPACES MAY OVERLAP.
- CLEAR SPACE ( 3 ) IN FRONT OF AND TO ONE SIDE OF TOILET.
- TOILET CENTERED 18 FROM ANY SIDE WALL, CABINET, OR TUB.
- BROAD BLOCKING IN WALLS AROUND TOILET, TUB, AND SHOWER FOR FUTURE PLACEMENT AND RELOCATION OF GRAB BARS.
- GRAB BARS SHOULD NOT BE STAINLESS STEEL OR CHROME. USE COLORS TO MATCH DECOR.
- LAVATORY COUNTER HEIGHT 32 MINIMUM.
- KNEE SPACE UNDER LAVATORY: 25 HIGH, MAY BE OPEN KNEE SPACE OR ACHIEVED BY MEANS OF REMOVABLE VANITY OR FOLDBACK OR SELF-STORING DOORS. PIPE PROTECTION PANELS MUST BE PROVIDED TO PREVENT CONTACT WITH HOT OR SHARP SURFACES.
- COUNTERTOP LAVATORIES PREFERRED WITH BOWL MOUNTED AS CLOSE TO FRONT EDGE AS POSSIBLE.
- WALL HUNG LAVATORIES ACCEPTABLE WITH APPROPRIATE PIPE PROTECTION.
- PEDESTAL LAVATORIES ARE NOT ACCEPTABLE.
- LONG MIRRORS SHOULD BE PLACED WITH BOTTOM NO MORE THAN 36 ABOVE FINISHED FLOOR AND TOP AT LEAST 72 HIGH.

FIXTURE CONTROLS

- OFFSET CONTROLS IN TUB/SHOWER WITH ADJACENT CLEAR FLOOR SPACE.
- SINGLE-LEVER WATER CONTROLS AT ALL PLUMBING FIXTURES AND FAUCETS.
- PRESSURE BALANCED ANTI-SCALD VALVES AT TUBS AND SHOWERS.
- ADJ USTABLE HEIGHT, MOVABLE HAND-HELD SHOWER HEAD OR 60 -72 FLEXIBLE HOSE ALLOWS EASY USE BY PEOPLE OF ALL HEIGHTS.
- HAND-HELD SHOWER HEADS IN ALL TUBS AND SHOWERS, IN ADDITION TO FIXED HEADS, IF PROVIDED. SINGLE-LEVER DIVERTER VALVES IF NEEDED.
- MIXER VALVE WITH PRESSURE BALANCING AND HOT WATER LIMITER.

KITCHENS

- SPACE BETWEEN FACE OF CABINETS AND CABINETS AND WALLS SHOULD BE 48 MINIMUM.
- CLEAR KNEE SPACE ( MINIMUM 29 HIGH) UNDER SINK ( MUST HAVE PIPE PROTECTION) , COUNTERS, AND COOK TOPS. MAY BE OPEN KNEE SPACE OR ACHIEVED BY MEANS OF REMOVABLE BASE CABINETS OR FOLD-BACK OR SELF-STORING DOORS.
- VARIABLE HEIGHT ( 28 - 42 ) WORK SURFACES SUCH AS COUNTERTOPS, SINKS, AND OR COOKTOPS. MAY BE MECHANICALLY ADJ USTABLE IN 2 INCREMENTS OR BE ELECTRICALLY POWERED, THROUGH A CONTINUOUS RANGE.
- CONTRASTING COLOR BORDER TREATMENT ON COUNTERTOPS.
- MAKES IT EASIER TO REPAIR DAMAGED EDGES WITHOUT MATCHING ENTIRE COUNTERTOP.
- STRETCHES OF CONTINUOUS COUNTERTOPS PARTICULARLY BETWEEN REFRIGERATOR, SINK, AND STOVE TOP.
- ADJUSTABLE HEIGHT SHELVES IN WALL CABINETS.
- FULL-EXTENSION, PULL-OUT DRAWERS, SHELVES AND RACKS IN BASE CABINETS.
- FULL HEIGHT PANTRY STORAGE WITH EASY ACCESS PULL-OUT AND/OR ADJUSTABLE HEIGHT SHELVES.
- FRONT-MOUNTED CONTROLS ON ALL APPLIANCES.
- COOKTOP OR RANGE WITH STAGGERED BURNERS AND FRONT OR SIDE-MOUNTED CONTROLS.
- GLARE-FREE TASK LIGHTING TO ILLUMINATE WORK AREAS WITHOUT TOO MUCH REFLECTIVITY.
- SIDE-BY-SIDE REF. WITH PULL-OUT SHELVING OR UNDER COUNTER OR DRAWER TYPE REF. INSTALLED ON RAISED PLATFORMS.
- BUILT-IN OVEN WITH KNEE SPACE BESIDE. SET FOR ONE PULL-OUT OVEN RACK AT THE SAME HEIGHT AS ADJACENT COUNTERTOP.
- DROP-IN RANGE WITH KNEE SPACE BESIDE. TOP SET AT 34 ABOVE FINISHED FLOOR.
- DISHWASHER RAISED ON A PLATFORM OR DRAWER UNIT, SO TOP RACK IS LEVEL WITH ADJACENT COUNTERTOP.
- SINGLE-LEVER WATER CONTROLS AT ALL PLUMBING FIXTURES AND FAUCETS.

LAUNDRY AREAS

- FRONT-LOADING WASHERS AND DRYERS, WITH FRONT CONTROLS, RAISED ON PLATFORMS.
- LAUNDRY SINK AND COUNTERTOP SURFACE NO MORE THAN 34 ABOVE FINISHED FLOOR WITH KNEE SPACE BELOW.
- CLEAR FLOOR SPACE 36 WIDE ACROSS FULL WIDTH IN FRONT OF WASHER AND DRYER AND EXTENDING AT LEAST 18 BEYOND RIGHT AND LEFT SIDES. ( EXTENDED SPACE CAN BE PART OF KNEE SPACE UNDER COUNTER TOPS, SINK, ETC.)

STORAGE

- 5 0% OF ALL STORAGE SHOULD BE LESS THAN 5 4 HIGH.
- ADJUSTABLE HEIGHT CLOSET RODS AND SHELVES.
- POWER OPERATED CLOTHING CAROUSELS.
- MOTORIZED CABINETS THAT RAISE AND LOWER.

GARAGES AND CARPORTS

- POWER OPERATED OVERHEAD DOORS.
- 8 MINIMUM DOOR HEIGHT OR ALTERNATE ON-SITE PARKING FOR TALL VEHICLES.
- EXTRA LENGTH AND WIDTH AROUND CARS.
- SLOPED GARAGE FLOOR (W/ THRU-WALL VENTS AT BOTTOM OF SLOPE TO RELEASE FUMES) IN LIEU OF STEPPED ENTRANCE W/ RAMP.
- AVOID RAMPS IN GARAGES.

DECKS

- BUILD DECK AT SAME LEVEL AS HOUSE FLOOR.
- KEEP DECK CLEAR OF THE HOUSE AND USE SLATTED DECKING FOR POSITIVE DRAINAGE.

HARDWARE

- LEVER DOOR HANDLES
- PUSH PLATES
- LOOP-HANDLE PULLS ON DRAWERS AND CABINET DOORS NO KNOBS
- TOUCH LATCHES
- MAGNETIC LATCHES IN LIEU OF MECHANICAL LOCKS

HOME AUTOMATION

- MOTION DETECTOR LIGHT SWITCHES IN GARAGES, UTILITY SPACES, ENTRANCES, AND BASEMENTS.
- REMOTE CONTROLS FOR SELECTED LIGHTS.
- REMOTE CONTROLS FOR HEATING AND COOLING.
- DOORBELL INTERCOMS THAT CONNECT TO PORTABLE TELEPHONES.
- AUDIBLE AND VISUAL ALARMS FOR DOORBELL, BABY MONITOR, SMOKE DETECTORS, ETC.

LIGHT AND COLOR

- COLOR CONTRAST BETWEEN FLOOR SURFACES AND TRIM. AVOID GLOSSY SURFACES.
- COLOR CONTRAST DIFFERENCE BETWEEN STAIR TREADS AND RISERS.
- EMPHASIZE LIGHTING AT STAIRS, ENTRANCES AND TASK LIGHTING.
- AMBIENT, FOCUSED, AND VARIABLE LIGHTING.
- CONTRAST BETWEEN COUNTERTOPS AND FRONT EDGES OR CABINET FACES.

SWITCHES AND CONTROLS

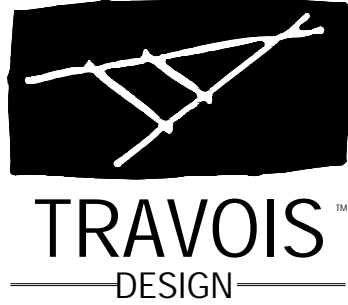
- LIGHT SWITCHES 44 -48 HIGH, AND THERMOSTATS 48 MAXIMUM HEIGHT.
- EASY-TOUCH ROCKER OR HANDS FREE SWITCHES. (SEE HOME AUTOMATION.)
- ELEC. OUTLETS AT BEDS & DESKS, FOUR-PLEX BOXES EACH SIDE FOR COMPUTER & ELECTRONIC EQUIP. AS WELL AS PERSONAL USE EQUIP.
- ELECTRICAL OUTLETS, 18 MINIMUM HEIGHT.
- ELECTRICAL PANEL WITH TOP NO MORE THAN 5 4 ABOVE FLOOR LOCATED WITH A MINIMUM 30 X 48 CLEAR FLOOR SPACE IN FRONT.

WINDOWS

- WINDOWS FOR VIEWING, 36 MAXIMUM SILL HEIGHT.
- LONGER LENGTH WINDOWS ADD MORE NATURAL LIGHT AND ELEGANCE TO ROOMS.
- USE CASEMENT, AWNING, HOPPER, OR JALOUSIE STYLE WINDOWS.
- USE CRANK OPERATED STYLE AND POWER OPERATORS WHENEVER POSSIBLE.

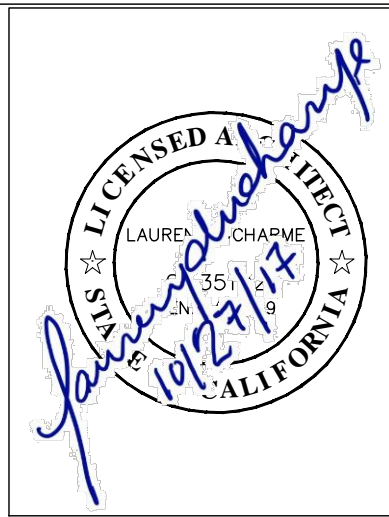
SLIDING DOORS

- EXT- SLIDING DOORS: DROP FRAME AND THRESHOLD INTO SUBFLOOR TO REDUCE HEIGHT OF TRACK, OR RAMP THE FINISHED FLOOR TO TOP OF TRACK.
- INT. POCKET DOORS: WHEN FULLY OPEN DOOR SHOULD EXTEND 2 MIN. OUTSIDE DOOR J AMB & BE EQUIPPED W/ OPEN-LOOP HANDLES FOR EASY GRIPPING.
- BY PASSING CLOSET DOORS: EACH PANEL SHOULD CREATE AN OPENING AT LEAST 32 CLEAR.



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REVISION	DATE
25% CDs	06/30/17
40% CDs	07/28/17
75% CDs	09/22/17
90% CDs	10/16/17
100% CDs	10/27/17

FOR CONSTRUCTION 10/27/17

SHEET

AN3

ADA, SENSORY &  
UNIVERSAL DESIGN  
NOTES

DIVISION 1. GENERAL REQUIREMENTS

1. ALL WORK AND MATERIALS FURNISHED SHALL COMPLY WITH APPLICABLE BUILDING CODES, INCLUDING, BUT NOT LIMITED TO THE STATE OF CALIFORNIA BUILDING CODE, THE REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, NATIONAL FIRE PROTECTIVE ASSOCIATION REQUIREMENTS AND ALL FEDERAL, STATE, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER THE WORK AND THE RESIDENTIAL BUILDING CODE - SEE TITLE SHEET

2. CONTRACTOR IS RESPONSIBLE FOR SECURING AND OBTAINING ALL NECESSARY PERMITS, APPROVALS, AND INSPECTIONS AND PAYING ALL APPLICABLE FEES FOR ALL TRADES.

3. CONTRACTORS MUST COMPLY WITH ALL APPROPRIATE MUNICIPAL AND REGULATORY AGENCIES, CODES AND REQUIREMENTS. THE CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSURANCE IN ACCORDANCE WITH BUILDING REQUIREMENTS AND SHALL INCLUDE A HOLD HARMLESS CLAUSE FOR THE OWNER, BUILDING MANAGEMENT, AND ARCHITECT.

4. CONTRACTOR SHALL PROVIDE CONTROLLED INSPECTIONS AS REQUIRED FOR APPROVAL BY THE BUILDING DEPARTMENT, CLIENT AND/OR JURISDICTION. ALL CONTROLLED INSPECTIONS ARE TO BE PERFORMED BY LICENSED PROFESSIONALS AND THE COST OF THESE SERVICES IS TO BE PAID BY THE CONTRACTOR. INSPECTIONS TO ALSO BE COMPLETED BY THE OWNER UPON COMPLETION OF EACH STAGE OF WORK.

5. THE SUBMISSION OF A PROPOSAL BY THE CONTRACTOR WILL BE CONSTRUED AS EVIDENCE THAT A CAREFUL AND THOROUGH EXAMINATION OF THE PREMISES HAS BEEN MADE AND LATER CLAIMS FOR LABOR, MATERIALS OR EQUIPMENT REQUIRED OR FOR DIFFICULTIES ENCOUNTERED, WHICH COULD HAVE BEEN FORESEEN HAD SUCH AN EXAMINATION BEEN MADE, WILL NOT BE RECOGNIZED. IT SHALL ALSO CONSTITUTE A REPRESENTATION THAT THE CONTRACTOR HAS CHECKED AND VERIFIED ALL QUANTITIES, WORK AND MATERIALS INVOLVED AND THAT HE OR SHE SHALL TAKE RESPONSIBILITY OR ANY DEFICIENCIES THEREIN.

6. BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK, EACH TRADE SHALL VERIFY ALL MEASUREMENTS AT THE BUILDING AND SHALL BE RESPONSIBLE FOR CORRECTNESS OF SAME. NO EXTRA CHARGE OR COMPENSATIONS WILL ALLOWED ON ACCOUNT OF DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THE MEASUREMENTS INDICATED ON THE DRAWINGS. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION AND CLARIFICATION BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS.

7. ALL THE ARCHITECT'S DRAWINGS AND CONSTRUCTION NOTES ARE COMPLEMENTARY AND WHAT IS CALLED FOR BY EITHER WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE DRAWING SHALL BE PROVIDED AS SHOWN ON ALL DRAWINGS. WHENEVER ANY ITEMS SPECIFIED AND/OR SHOWN ON THE DRAWINGS BY DETAIL OR REFERENCE IT SHALL BE CONSIDERED TYPICAL FOR OTHER ITEMS WHICH ARE OBVIOUSLY INTENDED TO BE THE SAME. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND CORRECTING ANY DISCREPANCIES OR INCONSISTENCIES BEFORE PROCEEDING WITH THE WORK.

8. FULL SIZE OR LARGE SCALE DETAILS OR DRAWINGS SHALL GOVERN SMALL SCALE DRAWINGS WHICH THEY ARE INTENDED TO AMPLIFY. DETAILS OR CONDITIONS INDICATED FOR A PORTION OF THE WORK BUT NOT CARRIED OUT FULLY FOR OTHER PORTIONS SHALL APPLY THROUGHOUT TO ALL SIMILAR PORTIONS EXCEPT AS OTHERWISE SPECIFICALLY NOTED. IN EVERY CASE A MORE EXPENSIVE ITEM OR METHOD SHALL BE ASSUMED OVER A LESS EXPENSIVE ONE AND DIMENSIONS SHALL BE FIGURED RATHER THAN DETERMINED BY RULE OR SCALE.

9. THE CHARACTER AND SCOPE OF THE WORK ARE ILLUSTRATED BY THE DRAWINGS. TO INTERPRET AND EXPLAIN THE DRAWINGS, OTHER INFORMATION DEEMED NECESSARY BY THE ARCHITECT WILL BE FURNISHED TO CONTRACTOR WHEN AND AS REQUIRED BY THE WORK. IT IS TO BE UNDERSTOOD THAT THE SAID ADDITIONAL DRAWINGS ARE TO BE OF EQUAL FORCE AS THE ORIGINAL DRAWINGS, AND SHALL BE CONSIDERED AS FORMING A PART OF THIS SET.

10. THE CONTRACTOR SHALL ABIDE BY AND COMPLY WITH THE TRUE INTENT AND MEANING OF THE DRAWINGS AND NOTES TAKEN AS A WHOLE AND SHALL NOT AVOID HIMSELF OF ANY OBVIOUS ERRORS AND OMISSIONS, SHOULD ANY EXIST. SHOULD ANY ERROR OR DISCREPANCY APPEAR OR ANY DOUBT ARISE AS TO THE TRUE MEANING OF THE DRAWINGS OR NOTES THE CONTRACTOR SHALL BRING SUCH ITEMS TO THE ATTENTION OF THE ARCHITECT BEFORE SUBMISSION OF PROPOSAL. FOR EXPLANATION OR CORRECTION OF SAME. AFTER SUBMISSION OF PROPOSAL, THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ALL SUCH ITEMS.

11. THE WORK TO BE PERFORMED CONSISTS OF FURNISHING ALL LABOR, EQUIPMENT, TOOLS, TRANSPORTATION, SUPPLIES, FEES, MATERIALS, AND SERVICES IN ACCORDANCE WITH THESE NOTES AND DRAWINGS; AND INCLUDES PERFORMING ALL OPERATIONS NECESSARY TO CONSTRUCT AND INSTALL COMPLETE, IN SATISFACTORY CONDITION, THE VARIOUS MATERIALS AND EQUIPMENT AT THE LOCATIONS SHOWN. IT IS INTENDED THAT THE DRAWINGS INCLUDE EVERYTHING REQUESTED AND NECESSARY TO FINISH THE ENTIRE WORK PROPERLY. NOTWITHSTANDING THE FACT THAT EVERY ITEM NECESSARILY INVOLVED MAY NOT BE SPECIFICALLY MENTIONED OR SHOWN, ANY ITEM WHICH MAY BE REASONABLY CONSTRUED AS INCIDENTAL TO THE PROPER AND SATISFACTORY COMPLETION OF THE WORK IN ACCORDANCE WITH THE INTENT OF THESE NOTES AND DRAWINGS IS HEREBY INCLUDED.

12. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF HE CANNOT FOR ANY REASON COMPLY WITH ALL THE REQUIREMENTS OF THESE NOTES AND DRAWINGS.

13. THE CONTRACTOR SHALL SUBMIT IN WRITING ALL PROPOSALS FOR ADDITIONAL WORK TO THE ARCHITECT FOR REVIEW AND APPROVAL. NO ADDITIONAL WORK IS TO PROCEED UNTIL A SIGNED AUTHORIZATION TO PROCEED IS RETURNED TO CONTRACTOR.

14. WORK AFFECTED BY CHANGES PROPOSED IN ANY REVISED DRAWINGS OR OTHER DOCUMENTS ISSUED TO THE CONTRACTOR SHALL NOT BE EXECUTED UNLESS CHANGES ARE ACCOMPANIED BY LETTER OF AUTHORIZATION TO PROCEED ACCORDINGLY. IN CASES WHERE INSTRUCTIONS ACCOMPANYING AN ISSUE OF REVISED DRAWINGS OR SPECIFICATIONS REQUEST ESTIMATES OF COST, SUCH ESTIMATES SHALL BE PREPARED AND SUBMITTED PROMPTLY IN ORDER NOT TO AFFECT THE PROGRESS OF THE WORK.

15. PAYMENT WILL NOT BE MADE TO GENERAL CONTRACTOR ON CHANGES OR EXTRAS UNLESS THEY ARE APPROVED IN WRITING BY OWNER OR OWNERS REPRESENTATIVES.

16. THE PROJECT HAS BEEN DESIGNED AND DETAILED FOR THE SPECIFIC MATERIALS AND EQUIPMENT SPECIFIED. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT. IF THE SPECIFIED MATERIAL IS NOT AVAILABLE, THE CONTRACTOR SHALL PROPOSE AN ALTERNATE MATERIAL AND SHALL PROVIDE DRAWINGS, SAMPLES, SPECIFICATIONS, MANUFACTURER'S LITERATURE, PERFORMANCE DATA, ETC. IN ORDER THAT THE ARCHITECT CAN EVALUATE THE PROPOSED SUBSTITUTION. IF THE SUBSTITUTION AFFECTS A CORRELATED FUNCTION, OR THE WORK OF ANY OTHER CONTRACTOR, OR THE WORK OF THE CONTRACTOR OR TRADE, THE NECESSARY CHANGES AND MODIFICATIONS TO THE AFFECTED WORK SHALL BE ACCOMPLISHED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. NO REQUESTS FOR SUBSTITUTES WILL BE ENTERTAINED BY THE ARCHITECT DUE TO CONTRACTOR'S FAILURE TO ORDER MATERIALS IN A TIMELY MANNER.

17. ALL MATERIALS REQUIRED FOR THE PERFORMANCE OF THIS WORK SHALL BE NEW AND OF THE BEST QUALITY OF THE KINDS SPECIFIED. THE USE OF OLD OR SECOND-HAND MATERIALS IS STRICTLY FORBIDDEN, EXCEPT FOR LOCATIONS ON THE DRAWINGS THAT REFER TO REMOVAL AND RELOCATION OF MATERIALS OR EQUIPMENT. MATERIALS SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. THE CONTRACTOR SHALL SUBMIT ALL PRODUCT WARRANTIES. THE CONTRACTOR SHALL WARRANTY ALL WORK AS PER CALIFORNIA REGULATIONS. UPON REQUEST, THE MANUFACTURER'S REPRESENTATIVE SHALL GO TO THE SITE AND INSTRUCT THE MECHANICS IN THE USE OF THE MATERIALS OR SHALL SUPERVISE THEIR USE.

18. THE STANDARD SPECIFICATIONS OF THE MANUFACTURERS APPROVED FOR USE IN THE PROJECT ARE HERE MADE A PART OF THESE NOTES WITH THE SAME FORCE AND EFFECT AS THOUGH HEREIN WRITTEN OUT IN THAT WHEREVER THE DRAWINGS REQUIRE HEAVIER MEMBERS, BETTER QUALITY MATERIALS OR ARE STRINGENT, THOSE MORE STRINGENT REQUIREMENTS SHALL GOVERN.

19. THE CONTRACTOR SHALL SUBMIT ALL FABRICATION SHOP DRAWINGS, SAMPLES, AND FIXTURE CUT-SHEETS FOR THE ARCHITECT'S AND ENGINEER'S REVIEW, INCLUDING, BUT NOT LIMITED TO, PRODUCT MATERIALS, FINISHES AND TRUSS/DRAWING SUBMITTALS. THE ARCHITECT'S/ENGINEER'S APPROVAL SHALL NOT BE CONSTRUED AS AN INDICATION THAT THE SUBMITTAL IS CORRECT OR SUITABLE NOR THAT THE WORK REPRESENTED BY THE SUBMITTAL COMPLIES WITH THE DRAWINGS, EXCEPT AS TO MATTERS OF FINISH, COLOR, AND OTHER AESTHETIC MATTERS. ACTION NOTED ABOVE DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO COORDINATE ALL TRADES AND TO CHECK QUANTITIES AND DIMENSIONS AGAINST CONDITIONS IN THE FIELD. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ALL ERRORS ON THEIR DRAWINGS. CONTRACTOR TO CREATE AND PROVIDE A LIST OF ANTICIPATED SUBMITTALS TO THE PROJECT TEAM AT THE OUTSET OF THE PROJECT.

20. EVERY EFFORT SHALL BE MADE BY THE ARCHITECT'S/ENGINEERS TO RETURN SUBMITTALS WITHIN 1 WEEK'S TIME AND ALL INITIAL RESPONSES TO RFS WITHIN 3-4 BUSINESS DAYS.

21. THE CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS COMPLETE WITH MANUFACTURER'S EQUIPMENT CUT-SHEETS, FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.

22. WHEN "APPROVED EQUAL," "EQUAL TO," OR OTHER GENERAL QUALIFYING TERMS ARE USED IT SHALL BE BASED UPON THE REVIEW AND APPROVAL BY CLIENT OR HIGHER REPRESENTATIVE. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT FIRST INFORMING CLIENT. SUBMIT SUBSTITUTE MATERIALS SPECIFICATIONS AND SAMPLES FOR APPROVAL. IN WRITING PRIOR TO COMMENCEMENT OF WORK.

23. ANY MATERIALS DELIVERED OR WORK PERFORMED, CONTRARY TO THE DRAWINGS AND SPECIFICATIONS AND APPROVED SHOP DRAWINGS, SHALL BE REMOVED BY THE CONTRACTOR AT HIS OWN EXPENSE, AND THE SAME SHALL BE REPLACED WITH OTHER MATERIALS OR WORK SATISFACTORY TO THE ARCHITECT. THE CONTRACTOR SHALL ALSO ASSUME THE COST OF REPLACING THE WORK WHICH MAY BE DISTURBED.

24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY AND ACCURATELY LAYING OUT THE WORK AND FOR THE LINES AND MEASUREMENTS HEREIN. THE CONTRACTOR SHALL ESTABLISH NECESSARY REFERENCE LINES AND PERMANENT BENCHMARKS FROM WHICH BUILDING LINES AND ELEVATIONS SHALL BE TAKEN. HEIGHTS OF ALL WORK, CALLED FOR "AS F," INCLUDING BUT NOT LIMITED TO SOFFITS, CEILINGS, DOORS, AND HOLLOW METAL SHALL BE TRUE AND LEVEL WITHIN A TOLERANCE OF 1/8" OVERALL THROUGHOUT THE ENTIRE PROJECT.

25. ALL HVAC, PLUMBING, SPRINKLER AND ELECTRICAL LINES ARE TO BE COORDINATED SO THAT NO CONFLICTS OCCUR. ANY CONFLICTS WHICH RESULT IN A RELOCATION OF A FINISHED SURFACE MUST BE BROUGHT TO THE ATTENTION OF THE OWNER/ARCHITECT/ENGINEER PRIOR TO INSTALLATION.

26. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY COVERING ALL WORK PERFORMED AND EQUIPMENT INSTALLED, FROM THE TIME OF SUBSTANTIAL COMPLETION.

27. CONTRACTOR SHALL CAREFULLY REMOVE AND PROTECT ITEMS INDICATED TO BE SAVED FOR RE-USE.

28. THE CONTRACTOR SHALL KEEP THE ARCHITECT INFORMED OF THE PROGRESS OF THE WORK. NO WORK SHALL BE CLOSED OR COVERED UNTIL IT HAS BEEN DULY INSPECTED AND APPROVED. SHOULD UNINSPECTED WORK BE COVERED THE CONTRACTOR SHALL, AT THEIR OWN EXPENSE, UNCOVER ALL SUCH WORK SO THAT IT CAN BE PROPERLY INSPECTED AND AFTER SUCH INSPECTION, SHALL PROPERLY BE REPAIRED AND REPLACED ALL WORK INTERFERED WITH.

29. ALL WORK SHALL BE SUBJECT TO FINAL INSPECTION BY THE ARCHITECT AND ACCEPTANCE BY THE OWNER.

30. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF WORKERS, PUBLIC, AND PROPERTY.

31. A COPY OF THE LATEST SIGNED AND SEALED SET OF CONSTRUCTION DRAWINGS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY CLIENT, THEIR REPRESENTATIVES, THE ARCHITECT, OR INSPECTORS.

32. THE CONTRACTOR SHALL HAVE A COMPETENT SUPERINTENDENT ON THE PREMISES ALL TIMES WHEN THE WORK IS IN PROGRESS.

33. ALL PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES.

34. THE GENERAL CONTRACTOR SHALL COORDINATE THEIR OWN WORK WITH THE WORK OF ALL OTHER CONTRACTORS, WHETHER THEIR OWN OR THOSE ON SEPARATE CONTRACT. PRIOR TO COMMENCING WORK, THE GENERAL CONTRACTOR SHALL PROVIDE A WORK SCHEDULE TO SHOW ESTIMATED COMMENCEMENT AND COMPLETION DATES OF EACH TRADE REQUIRING ANY LONG LEAD TIME. CONTRACTOR SHALL BE RESPONSIBLE FOR GIVING ALL TRADES SUCH INFORMATION, PLANS OR DETAILS AS MAY BE IDENTIFIED FOR THE PROPER INSTALLATION OF THEIR WORK. ALL MATERIALS SHALL BE ORDERED SUFFICIENTLY AHEAD OF TIME SO THAT WORK CAN PROCEED ON SCHEDULE. WHERE APPLICABLE, NO SUBSTITUTIONS WILL BE ACCEPTED BECAUSE OF FAILURE TO DO SO.

35. THE PREMISES AND THE JOB SITE SHALL BE MAINTAINED IN A REASONABLY NEAT AND ORDERLY CONDITION AND KEPT FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH DURING THE ENTIRE CONSTRUCTION PERIOD. REMOVE CRATES, CARTONS AND OTHER FLAMMABLE WASTE MATERIALS OR TRASH FROM THE WORK AREAS AT THE END OF EACH WORKING DAY. NO MATERIAL OR DEBRIS STORAGE SHALL BE PERMITTED IN THE STREET OR ON SIDEWALKS AT ANY TIME.

36. ELECTRICAL CLOSETS, PIPE AND DUCT SHAFTS CHASES, FURRED SPACES, CRAWL SPACES, ATTICS, AND SIMILAR SPACES SHALL BE CLEANED AND LEFT FREE FROM RUBBISH/ LOOSE PLASTER, MORTAR DRIPPINGS, EXTRANEOUS CONSTRUCTION MATERIALS, DIRT AND DUST.

37. CONTRACTOR SHALL PROTECT AND BE RESPONSIBLE FOR THE EXISTING STRUCTURE, FACILITIES AND IMPROVEMENTS ADJOINING THE AREA UNDER THIS CONTRACT. ANY DISTURBANCE OR DAMAGE TO ADJOINING PROPERTY RESULTING DIRECTLY OR INDIRECTLY FROM THE CONTRACTOR'S OPERATIONS SHALL BE PROMPTLY RESTORED, REPAIRED OR REPLACED TO THE SATISFACTION OF THE CLIENT AT NO ADDITIONAL COST.

38. CLEAN UP IMMEDIATELY UPON COMPLETION OF EACH TRADE'S WORK. CLEANING INCLUDES THE REMOVAL OF TRASH AND RUBBISH FROM THESE AREAS. BROOD CLEANING OF FLOORS, THE REMOVAL OF ANY PLASTER, MORTAR, DUST AND OTHER EXTRANEOUS MATERIALS FROM FINISH SURFACES, INCLUDING BUT NOT LIMITED TO MISCELLANEOUS METAL, WOODWORK, PLASTER, GLASS, GYPSUM DRYWALL, MASONRY, CONCRETE, MECHANICAL AND ELECTRICAL EQUIPMENT, PIPING, DUCTWORK, CONDUIT, AND SURFACES VISIBLE AFTER PERMANENT FIXTURES, GRILLES, REGISTERS, AND OTHER SUCH FIXTURES OR DEVICES ARE IN PLACE.

39. CONTRACTOR SHALL PROVIDE ALL OTHER CLEANING AS REQUIRED TO TURN THE PREMISES OVER TO THE OWNER IN A SPOTLESS AND ORDERLY CONDITION. 40. EVERY EFFORT HAS BEEN MADE TO PROVIDE THE MOST ACCURATE AND DETAILED CONSTRUCTION DOCUMENTS AS POSSIBLE BASED ON BUILDING INDUSTRY STANDARDS. CHANGE ORDERS RESULTING ONLY FROM THE FOLLOWING CONDITIONS SHALL BE ALLOWED:

A. ANY WRITTEN CHANGE ORDER REQUEST FROM OWNER/ARCHITECT. B. ANY WRITTEN CHANGE ORDER REQUEST FROM ADDITIONAL WORK REQUIRED DUE TO NON-VISIBLE, HIDDEN EXISTING CONDITIONS, WHICH COULD NOT BE ECONOMICALLY EXPOSED AND TAKEN INTO ACCOUNT PRIOR TO ACTUAL DEMOLITION AND/OR CONSTRUCTION.

41. ALL BUILDING CONSTRUCTION SHALL CONFORM TO THE BUILDING CODES INDICATED ON THE TITLE SHEET.

42. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOBSITE BEFORE COMMENCING WORK AND SHALL RESOLVE ANY DISCREPANCIES WITH THE OWNER/ARCHITECT. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS.

43. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION, WHERE ANY DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, NOTES AND SPECIFICATIONS, THE GREATER, MORE STRINGENT REQUIREMENTS SHALL GOVERN. WHERE NO SPECIFIC DETAIL IS SHOWN, IT IS THE INTENTION THAT CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.

44. THE SITE SHALL BE EXAMINED AND INSPECTED BY THE CONTRACTOR FOR EXISTING CONDITIONS THAT MAY HAVE A BEARING ON THE WORK. NO ALLOWANCE SHALL BE MADE ON BEHALF OF THE CONTRACTOR FOR ERRORS DUE TO FAILURE TO UNDERSTAND EXISTING CONDITIONS.

45. ALL TEMPORARY POWER AND WATER FOR CONSTRUCTION PURPOSES SHALL BE FURNISHED AND PAID FOR AND COORDINATED BY THE CONTRACTOR.

46. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SAFETY PROCEDURES AND PRECAUTIONS FOR ALL WORKMEN IN COMPLIANCE WITH CURRENT ACCEPTED INDUSTRY AND GOVERNMENT STANDARDS

47. OWNER RESERVES THE RIGHT TO SAVE AND SALVAGE ANY EXISTING EXISTING ITEMS, INCLUDING, BUT NOT LIMITED TO, CABINETS, FIXTURES, APPLIANCES, HVAC EQUIPMENT, ETC. THE CONTRACTOR SHALL WALK THROUGH ALL UNITS WITH OWNER TO CONFIRM WHICH APPLIANCES/EQUIPMENT WILL BE SALVAGED AND ALSO TO DELIVER IN GOOD CONDITION TO OWNER PROVIDED STORAGE.

48. REFER TO CONTRACT FOR ADDITIONAL SPECIFICATION REQUIREMENTS.

49. THIS PROJECT CONTAINS UNITS THAT WERE BUILT BEFORE 1978 AND SHALL USE LEAD-SAFE WORK PRACTICES PER THE EPA'S RRP 40CFR745 AND APPLICABLE HUD REQUIREMENTS AT 24 CFR 35. IT IS THE CONTRACTORS RESPONSIBILITY TO KNOW AND COORDINATE TO THESE GUIDELINES THROUGHOUT CONSTRUCTION.

50. CONTRACTOR SHALL WORK IN CONJUNCTION WITH THE GREEN POINT PATH CONSULTANT TO MEET THE MINIMUM PROJECT REQUIREMENTS FOR A SILVER RATING AS COMMITTED TO IN THE LHIC APPLICATION.

SAFETY OF PUBLIC AND PROPERTY

1. INSTITUTE AND MAINTAIN SAFETY MEASURES AND PROVIDE ALL EQUIPMENT OR TEMPORARY CONSTRUCTION NECESSARY TO SAFEGUARD ALL PERSONS AND PROPERTY AFFECTED.
2. STRUCTURES, DEVICES, OR CONSTRUCTION EQUIPMENT SHALL NOT BE LOADED IN EXCESS OF THEIR DESIGN CAPACITY.
3. BEFORE USING CONSTRUCTION EQUIPMENT OR DEVICES, SAME SHALL BE INSPECTED BY THE PERSON SUPERINTENDING THE WORK, AND DEFECTS OR UNSAFE CONDITIONS SHALL BE PROMPTLY CORRECTED BEFORE USE.
4. DETERMINE LOCATION, PROTECT AND SAFEGUARD ALL UTILITIES ON OR ADJACENT TO SITE. NOTIFY ALL UTILITY COMPANIES AND BUILDING MANAGEMENT AS REQUIRED.
5. MAINTAIN FIRE PREVENTIVE, SANITARY AND SAFETY FACILITIES.
6. ALL MACHINES, TOOLS, SERVICE LINES AND CONDUITS SHALL BE SHIELDED OR BARRICADED TO PROVIDE SAFETY AND PREVENT CONTACT BY THE PUBLIC.
7. NO MATERIALS SHALL BE DROPPED OR THROWN OUTSIDE THE EXTERIOR WALLS OF THE BUILDING.
8. AREAS USED BY THE PUBLIC SHALL BE MAINTAINED FREE FROM DEBRIS, EQUIPMENT & MATERIALS

DIVISION 2A. SITE WORK - ALL WORK THIS SECTION TO BE PROVIDED AND INSTALLED BY CONTRACTOR. CONTRACTOR TO PROVIDE FULL SUBMITTALS FOR ALL ITEMS THIS SECTION

1. CONTRACTOR SHALL VERIFY LOCATION(S) OF BUILDING PROJECT, DRIVEWAY, VEGETATION AND ALL UTILITIES WITH COYOTE VALLEY TRIBE HOUSING AUTHORITY (KTHA) AND ALL OTHER PROPER AGENCIES PRIOR TO STARTING CONSTRUCTION.
2. ALL NATURAL GROWTH SHALL REMAIN UNDISTURBED EXCEPT THAT WHICH IS IN THE BUILDING AREA AND NO GROWTH SHALL BE REMOVED WITHOUT PRIOR CONSENT.
3. ALL FINISH GRADING SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. PROVIDE ADDITIONAL MATERIAL AS REQUIRED FOR PROPER DRAINAGE.
4. SITE EROSION CONTROL REQUIRED, REF. GREEN PATH RATED.
5. BALANCE ALL SITE CUT/FILL TO ELIMINATE EARTH REMOVAL FROM SITE. REF. GREEN PATH RATED.

DIVISION 2B. SELECTIVE DEMOLITION

1. HAZARDOUS MATERIALS ARE TO BE REMOVED PRIOR TO REHABILITATION UNDER A SEPARATE CONTRACT. IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THIS WORK. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY ARCHITECT AND OWNER.
2. ITEMS IDENTIFIED TO BE REMOVED & SALVAGED REMAIN OWNER'S PROPERTY. REMOVE, CLEAN & DELIVER TO OWNER DESIGNATED STORAGE AREA.
3. COMPLY WITH EPA REGULATIONS AND HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
4. MAINTAIN SERVICES/SYSTEMS INDICATED TO REMAIN AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. BEFORE PROCEEDING WITH DEMOLITION, PROVIDE TEMPORARY SERVICES/SYSTEMS THAT BYPASS AREA OF SELECTIVE DEMOLITION AND THAT MAINTAIN CONTINUITY OF SERVICES/SYSTEMS TO OTHER PARTS OF THE BUILDING.
5. LOCATE, IDENTIFY, SHUT OFF, DISCONNECT, AND CAP OFF UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED.
6. PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN.
7. PROVIDE AND MAINTAIN SHORING, BRACING, AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN OR CONSTRUCTION BEING DEMOLISHED.
8. PROVIDE TEMPORARY WEATHER PROTECTION TO PREVENT WATER LEAKAGE AND DAMAGE TO STRUCTURE AND INTERIOR AREAS.
9. PROTECT WALLS, CEILINGS, FLOORS, AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN. ERECT AND MAINTAIN DUSTPROOF PARTITIONS. COVER AND PROTECT FURNITURE, FURNISHINGS, AND EQUIPMENT THAT HAVE NOT BEEN REMOVED.
10. NEATLY CUT OPENINGS AND HOLES PLUMB, SQUARE, AND TRUE TO DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION.
11. PROMPTLY REMOVE DEMOLISHED MATERIALS FROM SITE AND LEGALLY DISPOSE OF THEM. DO NOT BURN DEMOLISHED MATERIALS.
- 12.

DIVISION 3. CONCRETE - CONTRACTOR TO PROVIDE FULL SUBMITTALS FOR ALL ITEMS THIS SECTION

1. ALL CONCRETE CONSTRUCTION TO CONFORM TO ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE "ACI 318-(MOST RECENT ADDITION) AND ACI SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" ACI 301, UNLESS NOTED OTHERWISE.
2. ALL REINFORCING STEEL TO BE DETAILED IN ACCORDANCE WITH ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES."
3. REFER TO STRUCTURAL DRAWINGS AND GEOTECH REPORT FOR ALL CONCRETE, REINFORCING AND CONCRETE RELATED SPECIFICATIONS.
4. CONCRETE STRENGTH TESTING CONFIRMING RECOMMENDATIONS OF GEOTECH TO BE PERFORMED BY CONTRACTOR IN ACCORDANCE WITH THE LPA REQUIREMENTS.
5. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR DRAINS, SLEEVES, OUTLET BOXES, CONDUIT, ANCHORS, ETC. THE VARIOUS TRADES ARE RESPONSIBLE FOR PLACING THEIR ITEMS.
6. REFER TO MECHANICAL DRAWINGS FOR HOUSEKEEPING PADS AND INERTIA BASES AT MECHANICAL EQUIPMENT.

DIVISION 4. MASONRY

1. STONE VENEER SYSTEM - MANUFACTURER AND COLOR PER OWNER/ARCHITECT. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS/RECOMMENDATIONS.
2. LOCATION OF STONE PER ARCHITECTURAL ELEVATIONS.
3. WATERPROOF AND SEAL AS REQ'D BY MANUFACTURER.

DIVISION 5. STRUCTURAL STEEL

1. ALL STRUCTURAL STEEL TO BE FABRICATED AND ERECTED IN ACCORDANCE WITH AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES" - 15TH EDITION, 2016.
2. A. WIDE FLANGE SHAPES: ASTM A992
3. C. CHANNELS, ANGLES, PLATES: ASTM A36
4. C. HOLLOW STRUCTURAL SHAPES: ASTM A500, GRADE B
5. D. HIGH STRENGTH BOLTS: 3/4" DIAMETER (MINIMUM), A325-N, A
6. E. ANCHOR BOLTS: 3/4" DIAMETER (MINIMUM), A36 - F1554
7. F. ADHESIVE BOLTS: (THREADED ROD ASTM A307)
8. G. HILTI HIT-HY 20 ADHESIVE W/ SCREEN TUBES IN MASONRY

- 2) HILTI HIT-HY 150 (OR HIT-HY 250) ADHESIVE IN CONCRETE
3. G. EXPANSION BOLTS: HILTI KWIK BOLT III
4. BOLTED CONNECTIONS: ALL BOLTED CONNECTIONS SHALL BE SNUG-TIGHT IN ACCORDANCE WITH THE "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS" PUBLISHED BY THE RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS.
5. WELDED CONNECTIONS: ALL WELDING SHALL BE IN ACCORDANCE WITH THE "STRUCTURAL WELDING SOCIETY CODE" (AWS D1.1-96) ALL WELDING TO BE DONE BY QUALIFIED WELDERS CONFORMING TO THE AMERICAN WELDING SOCIETY STANDARDS.
6. SPACING OF STEEL MEMBERS, UNLESS SHOWN ON THE DRAWINGS, IS PROHIBITED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.
7. NO CHANGE IN SIZE OR POSITION OF THE STRUCTURAL ELEMENTS SHALL BE MADE, AND HOLES, SLOTS, CUTS, ETC., ARE NOT PERMITTED THROUGH ANY MEMBER UNLESS THEY ARE DETAILED ON THE APPROVED SHOP DRAWINGS.
8. NO FINAL BOLTING OR WELDING SHALL BE MADE UNTIL AS MUCH OF THE STRUCTURE AS WILL BE STIFFENED THEREBY HAS BEEN PROPERLY ALIGNED.
9. FABRICATE ALL BEAMS WITH THE MILL CAMBER UP U.N.O.
10. ALL COLUMN BASE PLATES SHALL BE SOLIDLY GROUTED WITH NON-SHRINK GROUT UNDER THE ENTIRE BASE PLATE AREA. GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI @ 28 DAYS.
11. ALL HOLLOW STRUCTURAL SHAPE WELDED CONNECTIONS TO BE GROUND SMOOTH.
12. THE FABRICATOR SHALL BE RESPONSIBLE FOR THE DESIGN AND PERFORMANCE OF ALL CONNECTIONS NOT FULLY DESIGNED OR DETAILED ON THE CONTRACT DOCUMENTS. FABRICATOR IS TO FURNISH ARCHITECT/ENGINEER WITH SHOP DRAWINGS FOR APPROVAL.
13. ONCE THE FRAME IS ASSEMBLED, ALL STRUCTURAL STEEL SHALL BE COATED WITH A RUST INHIBITING PRIMER AND PAINTED. THE NEW AND EXISTING STEEL SHALL BE PROPERLY CLEANED AND PREPARED PRIOR TO PRIMING.
14. SEE STRUCTURAL SHEETS FOR ADDITIONAL SPECIFICATIONS
15. ROOFING - SKYLINE DURATECH OR DELTA RIB III
16. A. UNDERLAYMENT - TITANIUM PSU - 30, TITANIUM UDL - 25
17. B. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT TO INSTALL ROOFING SYSTEM AS DETAILED/SPECIFIED.
18. C. ROOFER SHALL SUPPLY AND INSTALL ALL REQUIRED FLASHING, METAL EDGING, BOOTS, ROOF JACKS, ROOF VENTS, ETC. (IF INDICATED) TO PROVIDE A COMPLETE JOB.
19. D. INSTALL ALL ROOFING SYSTEMS IN STRICT COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS AS WELL AS PER LOCAL BUILDING CODES AND INDUSTRY STANDARDS. PROVIDE WRITTEN WARRANTIES.

VENTED ALUMINUM SOFFIT: ROLLEX A-SYS316CV

DIVISION 6A. ROUGH CARPENTRY

1. SEE STRUCTURAL SHEETS FOR SPECIFICATIONS

DIVISION 6B. FINISH CARPENTRY - CONTRACTOR TO PROVIDE FULL SUBMITTALS FOR ALL ITEMS THIS SECTION

1. SHELVING: PROVIDE METAL SHELVING AT CLOSETS AND PANTRIES. PROVIDE WITH CLOTHES ROD AT BEDROOM & COAT CLOSET LOCATIONS.
2. WALL BASE: VINYL
3. INTERIOR WINDOW & DOOR CASING: 3/4"x2-1/4" WOOD, PAINT GRADE. COLOR PER OWNER/ARCHITECT.

DIVISION 7A. ROOFING - CONTRACTOR TO PROVIDE FULL SUBMITTALS FOR ALL ITEMS THIS SECTION

1. ROOFING - 50 YEAR COMPOSITION ROOF OR LIFETIME WARRANTY, MALAKAY LEGACY OR EQUAL
2. a. UNDERLAYMENT - AS REQUIRED BY MANUFACTURER
3. b. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT TO INSTALL ROOFING SYSTEM AS DETAILED/SPECIFIED.
4. c. ROOFER SHALL SUPPLY AND INSTALL ALL REQUIRED FLASHING, METAL EDGING, ROOF JACKS, ROOF VENTS, ETC. (IF INDICATED) TO PROVIDE A COMPLETE JOB.
5. d. INSTALL ALL ROOFING SYSTEMS IN STRICT COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS AS WELL AS PER LOCAL BUILDING CODES AND INDUSTRY STANDARDS. PROVIDE WRITTEN WARRANTIES.

DIVISION 7B. SIDING - CONTRACTOR TO PROVIDE FULL SUBMITTALS FOR ALL ITEMS THIS SECTION

1. EXTERIOR SIDING / TRIM SYSTEM - JAMES HARGRIBER CEMENT SIDING PER ELEVATIONS AND ARCHITECTURAL DRAWINGS. INSTALL PER ALL MANUFACTURER'S WRITTEN INSTRUCTIONS/RECOMMENDATIONS. SIDING TO BE FACTORY PRIMED. FINAL COLOR PER OWNER/ARCHITECT
2. COORDINATE.
3. PREFINISHED FIBER CEMENT SOFFIT & FASCIA, FACTORY PRIMED, COLOR TO BE SELECTED BY OWNER/ARCHITECT.
4. GUTTERS & DOWNSPOUTS: RAIN GUTTERS TO BE 5 IN. SEAMLESS (CONTINUOUS), .027 ALUMINUM (EQUAL TO 24 GAUGE GALVANIZED METAL). INSTALL GUTTERS UNDER DRIP EDGE WITH HIDDEN HANGERS. DOWNSPOUTS TO BE 2 IN. X 3 IN., .019 ALUMINUM (EQUAL TO 26 GAUGE GALVANIZED METAL). INSTALL DOWNSPOUTS WITH THREE (3) ALUMINUM ANCHORS EACH MINIMUM. SEAL ALL CORNERS, END CAPS AND JOINTS WITH HIGH GRADE SEALANT.
5. PRE-FINISHED COLOR SELECTED BY OWNER/ARCHITECT FROM MANUFACTURER'S COLOR CHART. PROVIDE 24 IN. X 12 IN. PRE-CAST CONCRETE SPLASH BLOCK AT EACH DOWNSPOUT. LOCATION OF GUTTERS AND DOWNSPOUTS PER PLANS. MUST TERMINATE A MIN. OF 5'-0" FROM THE FOUNDATION WALL AND/OR THE INFO STORM DRAIN SYSTEM.

DIVISION 7C. SEALANTS - CONTRACTOR TO PROVIDE FULL SUBMITTALS FOR ALL ITEMS THIS SECTION

1. ALL EXT. CAULKING AT SIDING/TRIM TO BE TIGHTBOND - WEATHERMASTER SEALANT, SINGLE-COMPONENT, COLOR: MATCH ADJACENT SURFACES.
2. PROVIDE CAULKING AT FOLLOWING LOCATIONS: (NOTE - THIS SCHEDULE IS NOT COMPLETE)
3. CONTROL JOINTS IN ANY MASONRY & CONCRETE SURFACES, BOTH INT. & EXT.
4. PERIMETER OF DOOR AND WINDOW FRAMES, INT. & EXT.
5. PERIMETER OF LOUVERES & GRILLES, INT. & EXT.
6. AS REQUIRED BY GREEN PATH RATED
7. JOINTS IN EXTERIOR SIDING AND TRIM
8. PROVIDE CAULKING AT OTHER AREAS AS REQUIRED BY GREEN PATH RATED
9. CAULKING VOC LEVELS MUST MEET THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168

DIVISION 7D. INSULATION - CONTRACTOR TO PROVIDE FULL SUBMITTALS FOR ALL ITEMS THIS SECTION

1. INSTALL INSULATION TO PROVIDE COMPLETE ENCLOSURE OF ALL CONDITIONED SPACES, INCLUDING ALL SHIM SPACES AT DOORS AND WINDOWS IN EXTERIOR WALLS. AS SPECIFIED IN GENERAL REQUIREMENTS. CONTRACTOR TO EXCEED REQUIRED BUILDING ENVELOPE EFFICIENCY AS REQUIRED BY GREEN PATH RATED AND EXCEED THE REQUIREMENTS IN 2008 IECC, TITLE 24, PART 6 OF THE CBC BY 35%. ALL INSULATION MUST BE RECYCLED CONTENT PER LHMIC AND MUST MEET GREENGUARD GOLD CERTIFICATION
2. ROOF/ATTIC ASSEMBLY - R38 CERTAINTED OR EQUAL
3. EXT. CAVITY WALLS: AS DETERMINED BY GREEN PATH RATED CERTAINTED, OR EQUAL
4. EXT. OF ALL UNDER FLOOR/CRAWLSPACE: R-30 BATT CERTAINTED, OR EQUAL
5. SLAB EDGE LOCATIONS: R-15 TO 24 INCHES BELOW GRADE.
6. SEAL ALL CRACKS, GAPS, JOINTS, ELECTRICAL BOXES AND ANY OTHER PLACES THAT ALLOW POTENTIAL AIR LEAKAGE PRIOR TO INSTALLATION OF GYPSUM BOARD AND OTHER FINISHES AS RECOMMENDED BY INSULATION MANUFACTURER'S WRITTEN RECOMMENDATIONS.
7. INSTALL WEATHERSTRIP & INSULATION AT ALL CRAWL SPACE AND ATTIC HATCHES PER 2012 IECC.
8. THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND ICC-EVALUATION REPORT (ESR-1826) MUST BE STRINGENTLY ADHERED TO AND A COPY OF INSTRUCTIONS AND EVALUATION REPORT MUST BE AVAILABLE ON THE JOBSITE AT ALL TIMES DURING INSTALLATION.

NOTE: THE ATTIC MUST BE VENTED IN ACCORDANCE WITH 806.1.

NOTE: EACH HOUSING UNIT MUST BE RATED BY A QUALIFIED HOME ENERGY RATER, AND ACHIEVE A HERS RATING OF 85 OR BETTER. COST OF RATER IS BY THE CONTRACTOR, AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MEET THIS MINIMUM LEVEL RATING.

NOTE: HOMES MUST BE 35% BETTER THAN 2008 ENERGY EFFICIENCY STANDARDS (HEATING, COOLING, FAN ENERGY & WATER HEATING). CONTRACTOR MUST SUBMIT A COMPLETED SUSTAINABLE BUILDING METHOD WORKBOOK WITH THE APPROPRIATE CECC FORM.

DIVISION 7E. WATERPROOFING - CONTRACTOR TO PROVIDE FULL SUBMITTALS FOR ALL ITEMS THIS SECTION

1. PROVIDE AND INSTALL W.R. MEADOWS "MEL-ROL" WATERPROOFING MEMBRANE OR APPROVED EQUAL TO EXTERIOR SIDE OF ALL FOUNDATION WALLS FROM BOTTOM OF FOOTING TO FINISH GRADE. TYPICAL. PROVIDE AND INSTALL ALL PRIMERS AND OTHER PRODUCTS AS REQUIRED. INSTALL PER ALL MANUFACTURER'S WRITTEN RECOMMENDATIONS.
2. REFER TO TYPICAL ARCHITECTURAL DETAILS AND STRUCTURAL DOCUMENTS.

DIVISION 7F. HOUSE WRAP - CONTRACTOR TO PROVIDE FULL SUBMITTALS FOR ALL ITEMS THIS SECTION

1. PROVIDE AND INSTALL GUARDIAN GUARDWRAP HP OR EQUAL OVER EXTERIOR SHEATHING AS RECOMMENDED BY MANUFACTURER'S WRITTEN INSTRUCTIONS. TAPE ALL SEAMS. TYPICAL.
2. PROVIDE AND INSTALL WINDOW FLASHING SUCH AS TYVEK FLEX WRAP ON ALL SIDES OF ALL WINDOWS.

DIVISION 7G. PEST MANAGEMENT - CONTRACTOR TO PROVIDE FULL SUBMITTALS FOR ALL ITEMS THIS SECTION

1. ALL WALLS, FLOORS, AND JOINT PENETRATIONS SHALL BE SEALED WITH LOW-VOC CAULKING OR OTHER APPROPRIATE NON-TOXIC SEALING METHOD TO PREVENT PEST ENTRY. A RODENT AND CORROSIVE PROOF SCREEN SHALL BE USED FOR ALL OPENINGS GREATER THAN 1/4 INCH.

DIVISION 7H. RADON MITIGATION

1. PASSIVE RADON SYSTEM INCLUDING DEDICATED GFI IN THE CRAWLSPACE AND VENTED PIPE TERMINATING THROUGH ROOF FOR FUTURE USE IF NEEDED.

DIVISION 8A. DOORS & DOOR HARDWARE - CONTRACTOR TO PROVIDE FULL SUBMITTALS FOR ALL ITEMS THIS SECTION

1. EQUIP ALL EXTERIOR AND INTERIOR DOORS TO PROVIDE A COMPLETE INSTALLATION, INCLUDING ALL REQUIRED: JAMB, HINGES, LEVER STYLE HANDLE.

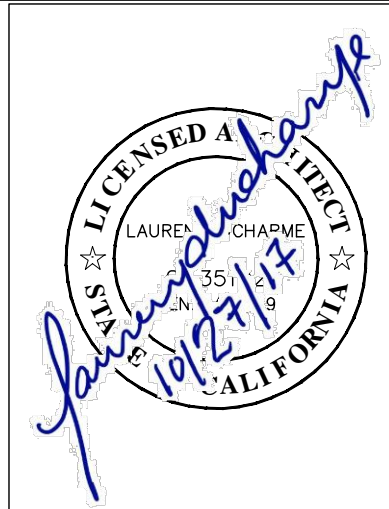
CASING, LOCK(S), WEATHER-STRIPPING, THRESHOLDS, SWEEPS, STOPS, VIEWER, ETC. SIZE AND SWING AS INDICATED ON PLANS.

- A. EXTERIOR DOORS- 1-3/4" 24 GAUGE, THERMASTU, SOLID CORE, METAL CLAD, FIBERGLASS. MUST BE ENERGY STAR RATED FOR REGION, MANUFACTURER AND FINISH PER OWNER.
1. JAMB/STOP- 5/4 FINGER JOINT (F) J WOOD WITH 1-1/2 PAIR BUTTS (3 HINGES) AND INTEGRAL WEATHER-STRIPS, METAL CLAD.
2. CASING- EXTERIOR, 2" F BRICK MOLDING, METAL CLAD
3. INTERIOR, REFER TO FINISH CARPENTRY SPECIFICATION SECTION
4. DOUBLE- MILL FINISH ALUMINUM WITH VINYL, SWEPT, LOW PROFILE PER ADA STANDARDS

Summary						
Total Available Points in Specific Categories	361.5	31	134.5	60	87	49
Minimum Points Required in Specific Categories	50	2	25	6	6	6
Total Points Achieved	97.0	4.0	38.5	21.0	23.0	10.5

Coyote Valley Homes I, LIHTC  
Redwood Valley, California

TRAVOIS ARCHITECTURE, PC  
310 W. 19TH TERRACE  
KANSAS CITY, MO 64108  
P 816.994.8970  
F 816.994.8974



REVISION	DATE
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25% CDs	06/30/17
40% CDs	07/28/17
75% CDs	09/22/17
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100% CDs	10/27/17

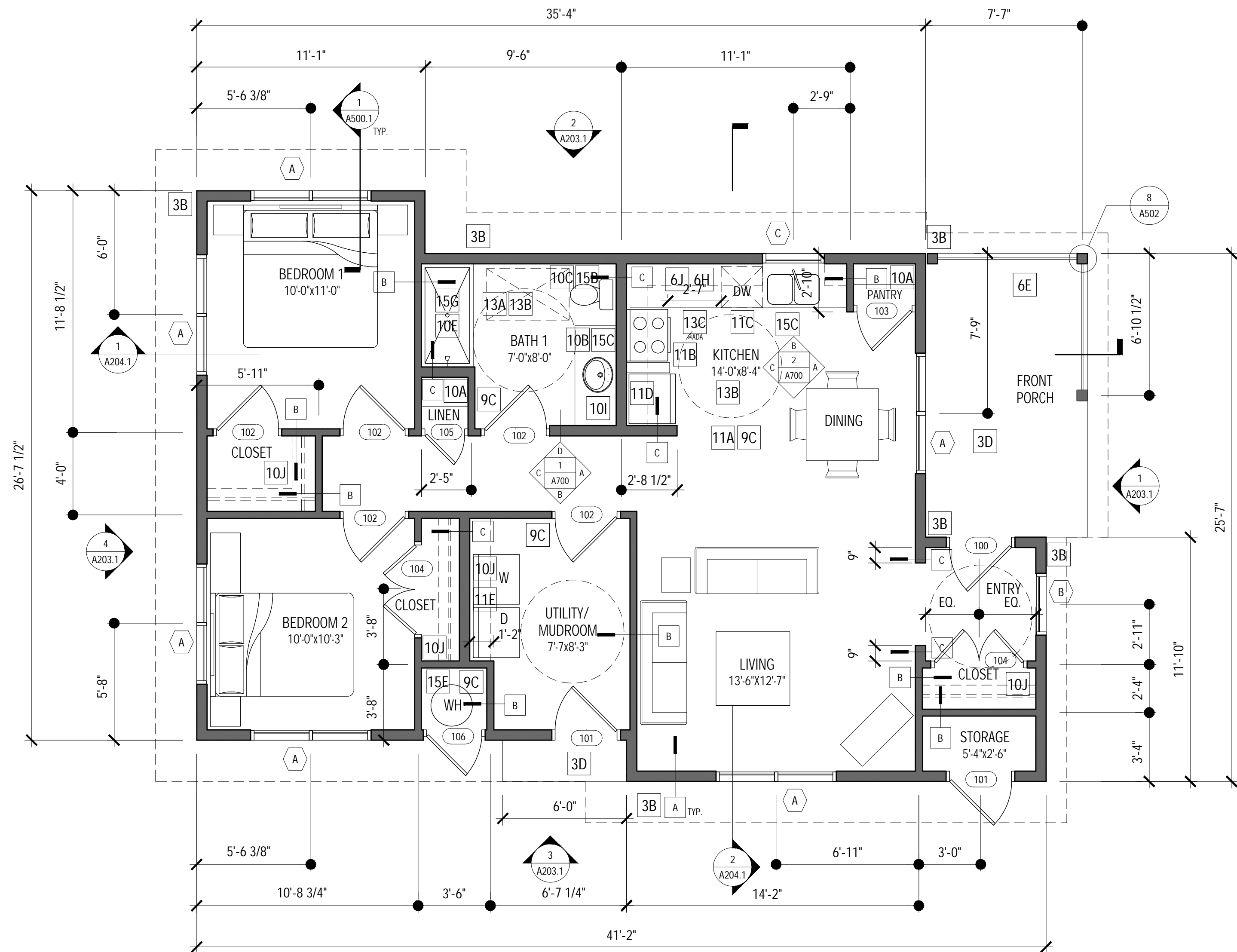
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SHEET

# AN5

GREEN POINT RATED





FLOOR PLAN 1

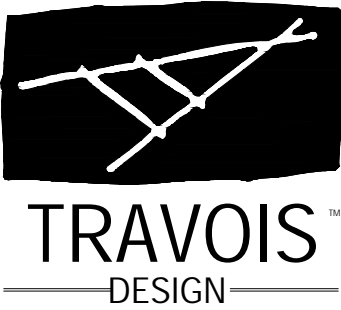
Scale: 1/4" = 1'-0"

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- GENERAL
- 1A. SEE AN4 FOR SPECIFICATIONS AND OTHER DRAWINGS FOR INFO NOT SHOWN
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- 2A. REFER TO CIVIL FOR BUILDING LOCATIONS AND ADDITIONAL INFORMATION
- CONCRETE
- 3A. FOUNDATIONS TO BE SLAB ON GRADE OR RAISED CIP. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION AND LOCATIONS
- 3B. PRE-CAST SPLASHBLOCK
- VENEER STONE
- 3D. CONC. PATIO, BROOM FINISH
- METALS
- 5A. GUTTER AND DOWNSPOUT
- 5B. 12" METAL ICE BREAK AT ALL DOWNSLOPES
- 5C. VENTED ALUMINUM SOFFIT W/INSECT/ FIRE SCREEN
- 5D. METAL ROOF OVER UNDERLAYMENT PER LEGEND
- 5E. METAL PANEL
- WOOD AND PLASTICS
- 6A. ALL WALL DIMENSIONS TO FACE OF STUD OR CENTER OF ROUGH OPENING, U.N.O. SEE ATS LEGEND FOR CLARIFICATIONS
- 6B. SEE S SHEETS FOR WALL FRAMING AND TYPES NOT SPECIFICALLY REFERENCED. ALL INTERIOR WALLS TYPE B, U.N.O.
- 6C. SEE ATS FOR TYP. WALL TYPES
- 6D. ALL PLUMB. & EXTERIOR WALLS SHALL BE 2X6 CONSTRUCTION U.N.O., WALL TYPES A AND C
- 6E. COLUMNS PER STRUCTURAL
- 6F. FINAL R.O. PER DOOR/WDW MFR
- 6G. ALL DOORS TO BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.
- 6H. CABINETS PER ENLARGED PLANS
- 6J. COUNTERTOP
- 6K. 1 1/2" WOOD HANDRAIL, CLEAR COAT GL. GUARDRAIL PER DETAIL 08/A5 02
- THERMAL AND WATER PROOFING PROTECTION
- 7A. INSULATION
- 7B. ANY REMOVABLE FORMWORK TO UTILIZE LOW-TOXICITY FORM RELEASE AGENTS
- 7C. ALL WATERPROOFING SYSTEMS TO BE WATER BASED
- 7D. RIDGE VENT
- 7E. TYVEK BUILDING WRAP
- 7F. Z FLASHING
- 7G.HARDI BOARD SIDING PER LEGEND
- 7H. 5/4 4" PRE-FIN. HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD
- 7J. 5/4 4" PRE-FIN. HARDI BOARD PRE-MADE EXT. CORNER TRIM BOARD. STANDARD COLOR, TBD
- 7K. PRE-FINISHED HARDI BOARD FASCIA, STANDARD COLOR, TBD
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- 7N. COMP. ROOF SHINGLES OR TPO MEMBRANE, SEE LEGEND
- DOORS AND WINDOWS
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- 8B. 24"x48" DRYWALL ATTIC ACCESS SET ON CLEAT. EXACT LOCATION TBD IN FIELD AND COORDINATED WITH TRUSS LOCATIONS
9. FINISHES
- 9A. SEE FINISH SCHEDULE AND SPECIFICATIONS FOR ADD'L INFO
- 9B. ALL MATERIALS TO WRAP TO NEAREST INSIDE CORNER OR TO TRANSITION AS SHOWN
- 9C. ALL WALL SURFACES IN BATHS, RESTROOMS, LAUNDRY, UTILITY, KITCHEN & WET LOCATIONS, AREAS IMMEDIATELY ADJ. TO RANGE TOP & HOT WATER HEATER TO RECEIVE WATER RESIST. PURPLE GYP. BD.
- GYPSUM BOARD
10. SPECIALTIES
- 10A. PROVIDE (5) TIERS OF 24" DEEP MDF SHELVING. PAINT TO MATCH WALLS, TYP.
- 10B. WALL MOUNTED MIRROR ABOVE SINK AND COUNTER
- 10C. PROVIDE (1) CHROME TOILET PAPER TOWEL HOLDER PER TOILET/STALL
- 10D. PROVIDE (1) SOAP DISPENSER PER SINK.
- 10E. GRAB BARS WITH BACKING @ ADA UNITS. PROVIDE BACKING @ UNIVERSAL DESIGN UNITS
- 10F. CLEARLY MARKED, ADDRESS NUMBERS
- 10G. (2) TOWEL BARS
- 10H. TOILET PARTITIONS
- 10I. RECESSED MED. CAB. WITH MIRROR
- 10J. PROVIDE NEW, 12" WHITE, WIRE SHELF. PROVIDE 1" SATIN NICKEL METAL ROD IN CLOSETS
- 10K.MOVEABLE PARTITIONS
- 11.EQUIPMENT (SEE AN4 AND MEP FOR ADDITIONAL INFO)
- 11A. ALL APPLIANCES AND FIXTURES TO BE ENERGY STAR RATED PER AN SHEETS AND ADA COMPLIANT AT ADA UNITS PER SITE PLAN
- 11B. FREE STANDING OVEN AND RANGE WITH HOOD, SIDE WALL VENT
- 11C. DISHWASHER PER PLUMBING
- 11D. REFRIGERATOR WITH SELF DEFROSTING FREEZER
- 11E. WASHER/DRYER
- 11F. FURNISHINGS SHOWN FOR REF. ONLY, NIC
13. ACCESSIBLE ELEMENTS (SEE AN1-3 FOR ADDITIONAL INFO AND SITE PLAN FOR APPLICABLE UNITS)
- 13A. 30"x42" CLEAR SPACE
- 13B. 5' TURNING RADIUS OR 5' "T" SPACE
- 13C. 30" WIDE WORKSPACE WITH ADJUSTABLE OR LOWERABLE COUNTERTOP SPACE PER 804.3/AN3
- 13D. 18" PUSH AND 12" PULL CLEARANCE AT LATCH SIDE, TYP.
- 13E. REMOVEABLE BASE CABINETS PER 804.3/AN3. CONTINUE FLOORING TO BACK WALL
- 15/16. MEP
- 15A. SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES
- 15B. TOILET/URINAL PER PLUMBING
- 15C. SINK PER PLUMBING
- 15D. CONDENSER PER PLUMBING
- 15E. WATER HEATER PER PLUMBING
- 15F. HVAC PER MECH
- 15G. TUB AND SURROUND OR ROLL-IN SHOWER AT FIRST FLOOR OF ADA UNITS PER PLUMBING: HOTEL SHOWER WAND AND GRAB BARS AT ADA UNITS, OFFSET CONTROLS @ ADA AND U.D. UNITS
- 15H. SEE ELECTRICAL PLANS FOR ADDITIONAL REFERENCE
- 15I. DRINKING FOUNTAINS PER PUMBING

LEGEND

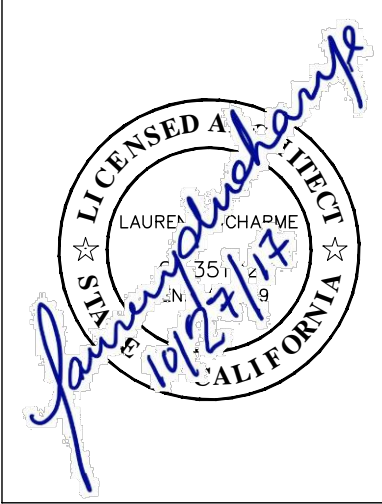
- |  |   |
|--|---|
|  | METAL ROOFING/SIDING. FACTORY FINISH FROM STANDARD COLORS, TBD BY OWNER               |
|  | COMPOSITION ROOF, STANDARD COLORS, TBD BY OWNER                                       |
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LOTS 2,3,4,7,9.

SHEET

A200.1

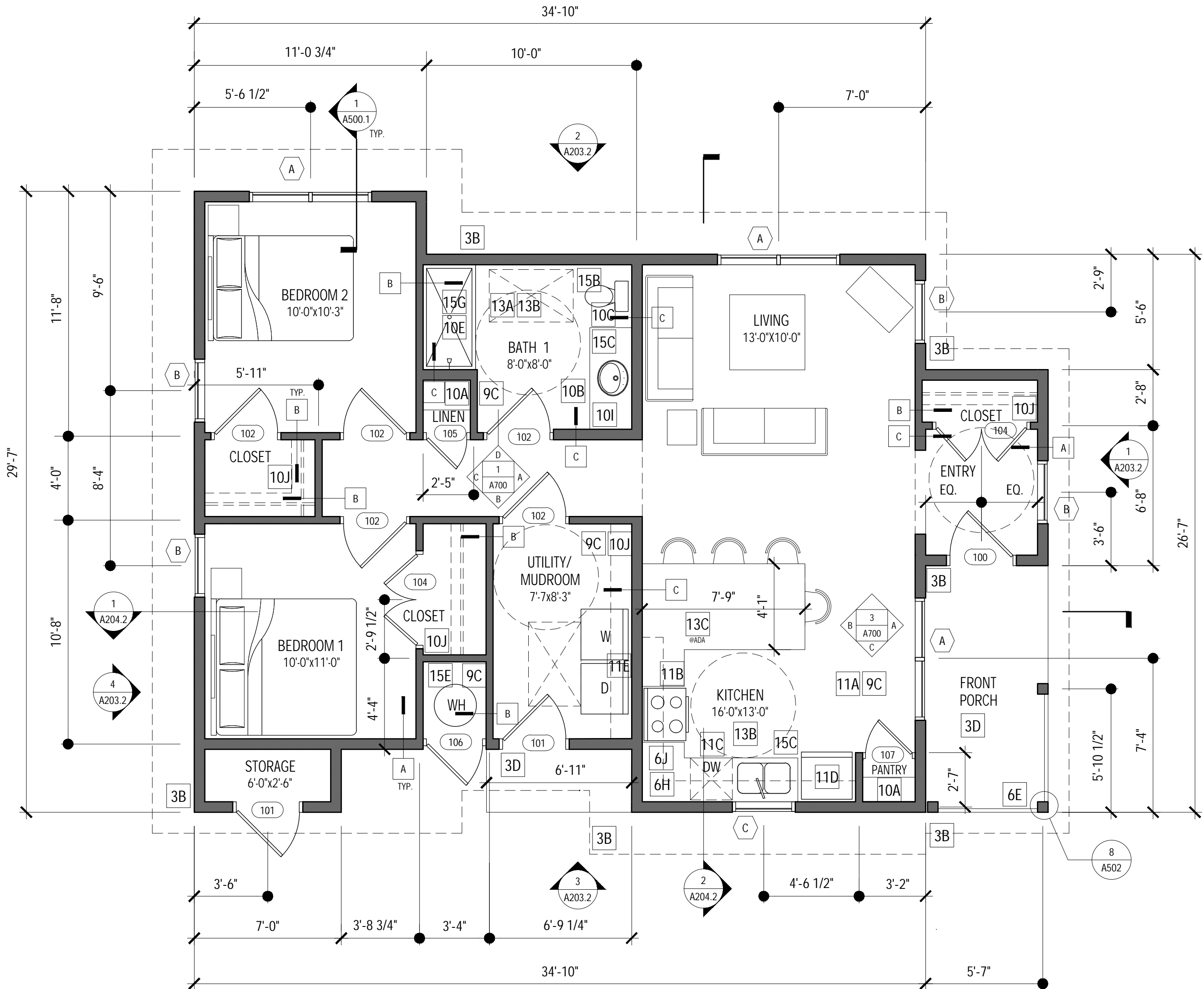
TWO BEDROOM  
TYPE A PLAN

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LEGEND

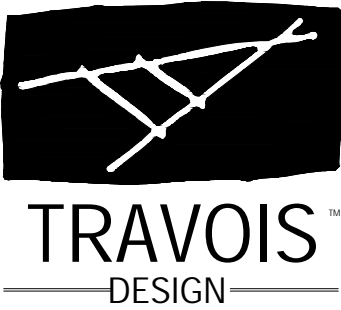
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FLOOR PLAN

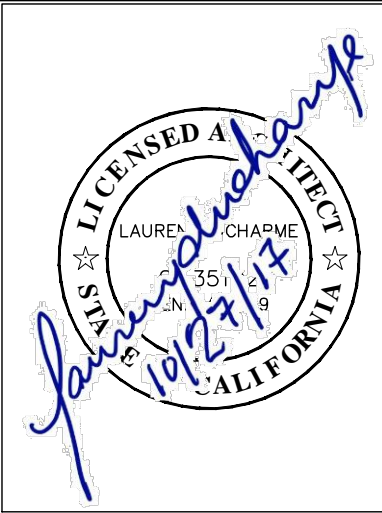
Scale: 1/4" = 1'-0"

1



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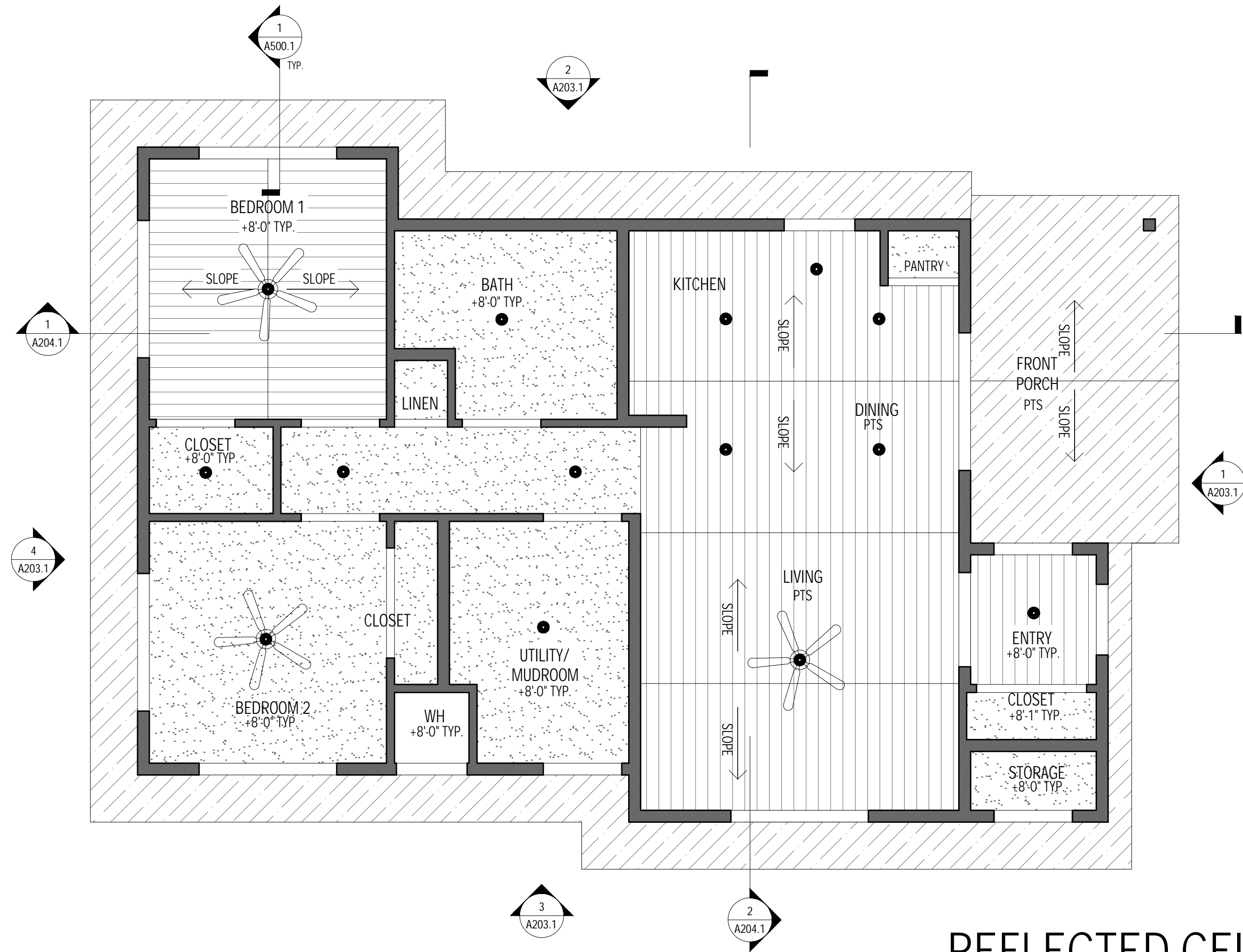
FOR CONSTRUCTION 10/27/17

LOTS 1,5,6,8.

SHEET

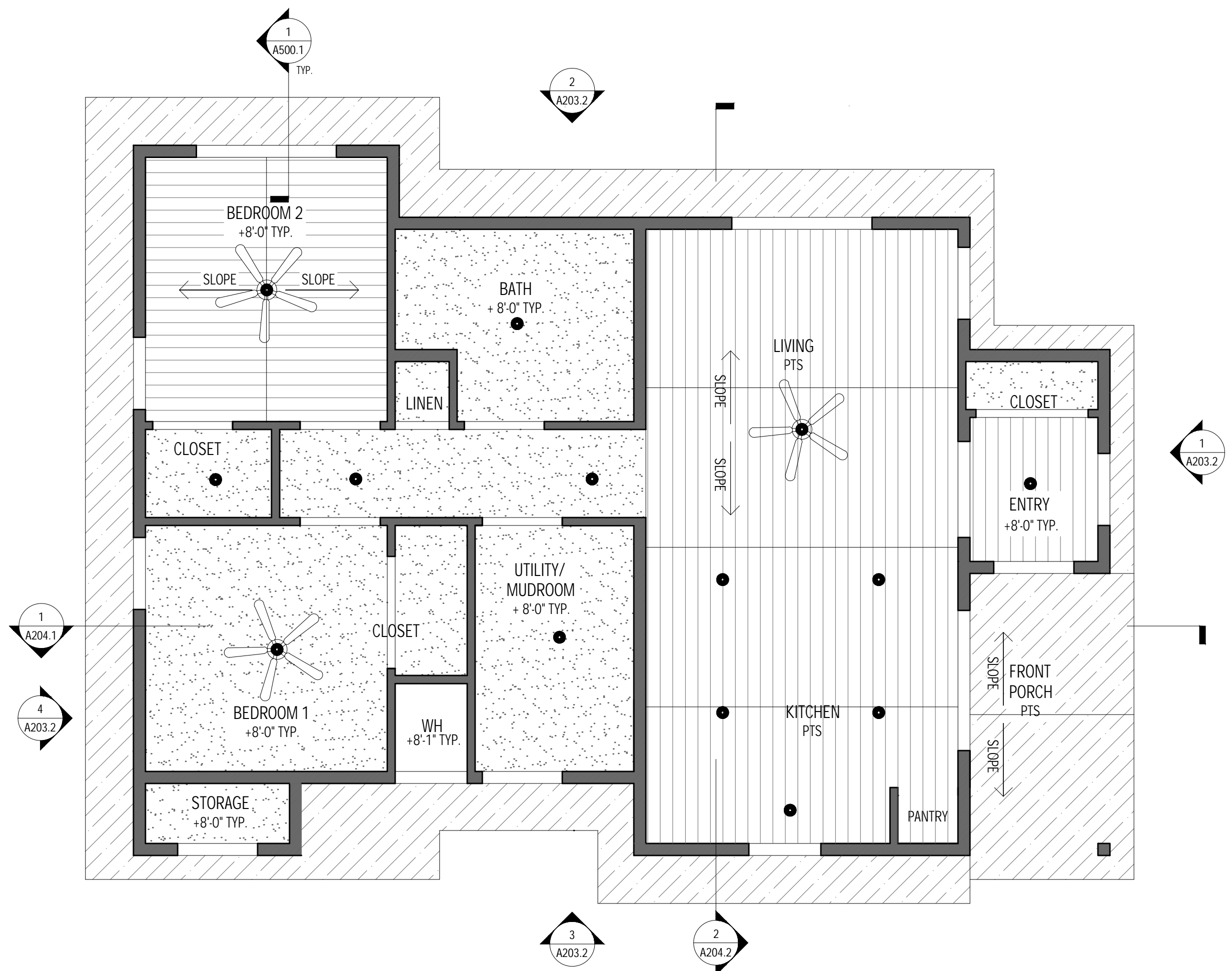
A200.2

TWO BEDROOM  
TYPE B PLAN



REFLECTED CEILING PLAN- HOME TYPE A 1

Scale: 1/4" = 1'-0"



REFLECTED CEILING PLAN- HOME TYPE B 2

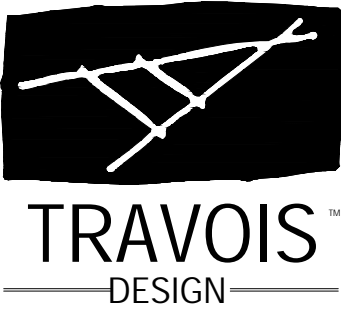
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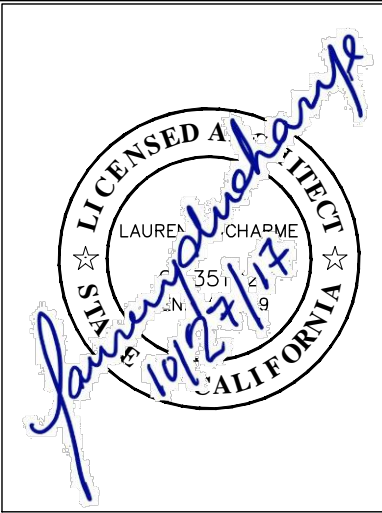
LEGEND

- FLAT CEILING, HEIGHT AFF AS NOTED, FIN. PER SCHED.
- SLOPED CEILING (PTS-PER APPROVED TRUSS SUBMITTAL) FIN.PER SCHED.
- HARD BOARD SOFFIT VENTED WHERE ADJ. TO ATTIC AT OUTRIGGERS



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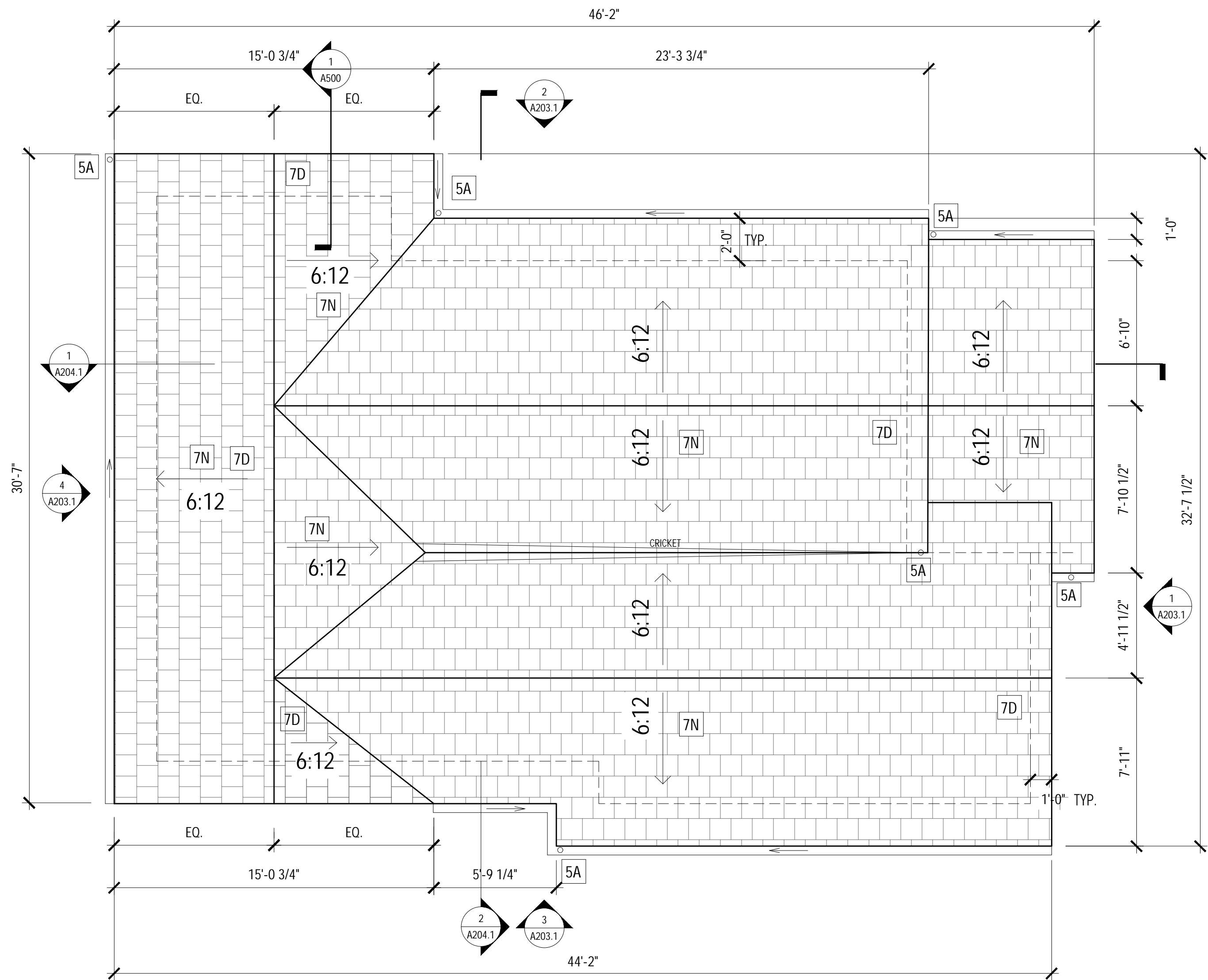
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TYPE A LOTS 2,3,47,9  
TYPE B LOTS 1,5,6,8

SHEET

A201

TWO BEDROOM  
RCP



ROOF PLAN 1

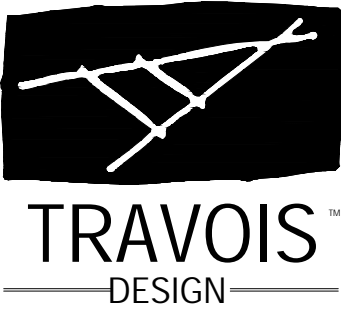
Scale: 1/4" = 1'-0"

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- SITE WORK
- 2A. REFER TO CIVIL FOR BUILDING LOCATIONS AND ADDITIONAL INFORMATION
- CONCRETE
- 3A. FOUNDATIONS TO BE SLAB ON GRADE OR RAISED CIP. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION AND LOCATIONS
- 3B. PRE-CAST SPLASHBLOCK
- 3C. VENEER STONE
- 3D. CONC. PATIO, BROOM FINISH
- METALS
- 5A. GUTTER AND DOWNSPOUT
- 5B. 12' METAL ICE BREAK AT ALL DOWNSLOPES
- 5C. VENTED ALUMINUM SOFFIT W/INSECT/ FIRE SCREEN
- 5D. METAL ROOF OVER UNDERLAYMENT PER LEGEND
- METAL PANEL
6. WOOD AND PLASTICS
- 6A. ALL WALL DIMENSIONS TO FACE OF STUD OR CENTER OF ROUGH OPENING, U.N.O. SEE ATS LEGEND FOR CLARIFICATIONS
- 6B. SEE S SHEETS FOR WALL FRAMING AND TYPES NOT SPECIFICALLY REFERENCED. ALL INTERIOR WALLS TYPE B, U.N.O.
- 6C. SEE ATS FOR TYP. WALL TYPES
- 6D. ALL PLUMB. & EXTERIOR WALLS SHALL BE 2X6 CONSTRUCTION U.N.O., WALL TYPES A AND C
- 6E. COLUMNS PER STRUCTURAL
- 6F. FINAL R.O. PER DOOR/WDW MFR
- 6G. ALL DOORS TO BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.
- 6H. CABINETS PER ENLARGED PLANS
- 6J. COUNTERTOP
- 6K. 1 1/2" WOOD HANDRAIL, CLEAR COAT GL. GUARDRAIL PER DETAIL 08/A5 02
- THERMAL AND WATER PROOFING PROTECTION
- 7A. INSULATION
- 7B. ANY REMOVABLE FORMWORK TO UTILIZE LOW-TOXICITY FORM RELEASE AGENTS
- 7C. ALL WATERPROOFING SYSTEMS TO BE WATER BASED
- 7D. RIDGE VENT
- 7E. TYVEK BUILDING WRAP
- 7F. Z FLASHING
- 7G. HARDI BOARD SIDING PER LEGEND
- 7H. 5/4 4" PRE-FIN. HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD
- 7J. 5/4 4" PRE-FIN. HARDI BOARD PRE-MADE EXT. CORNER TRIM BOARD. STANDARD COLOR, TBD
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- 7N. COMP. ROOF SHINGLES OR TPO MEMBRANE, SEE LEGEND
- DOORS AND WINDOWS
- 8A. SEE DOOR AND WINDOW SCHEDULE
- 8B. 24"X48" DRYWALL ATTIC ACCESS SET ON CLEAT. EXACT LOCATION TBD IN FIELD AND COORDINATED WITH TRUSS LOCATIONS
- FINISHES
- 9A. SEE FINISH SCHEDULE AND SPECIFICATIONS FOR ADD'L INFO
- 9B. ALL MATERIALS TO WRAP TO NEAREST INSIDE CORNER OR TO TRANSITION AS SHOWN
- 9C. ALL WALL SURFACES IN BATHS, RESTROOMS, LAUNDRY, UTILITY, KITCHEN & WET LOCATIONS, AREAS IMMEDIATELY ADJ. TO RANGE TOP & HOT WATER HEATER TO RECEIVE WATER RESIST. PURPLE GYP. BD.
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- 15G. TUB AND SURROUND OR ROLL-IN SHOWER AT FIRST FLOOR OF ADA UNITS PER PLUMBING: HOTEL SHOWER WAND AND GRAB BARS AT ADA UNITS, OFFSET CONTROLS @ ADA AND U.D. UNITS
- 15H. SEE ELECTRICAL PLANS FOR ADDITIONAL REFERENCE
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LEGEND

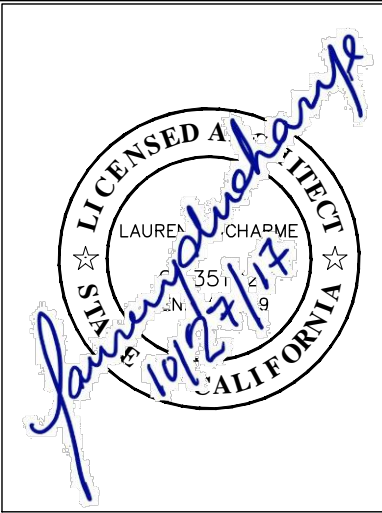
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|  | METAL ROOFING/SIDING. FACTORY FINISH FROM STANDARD COLORS, TBD BY OWNER               |
|  | COMPOSITION ROOF. STANDARD COLORS, TBD BY OWNER                                       |
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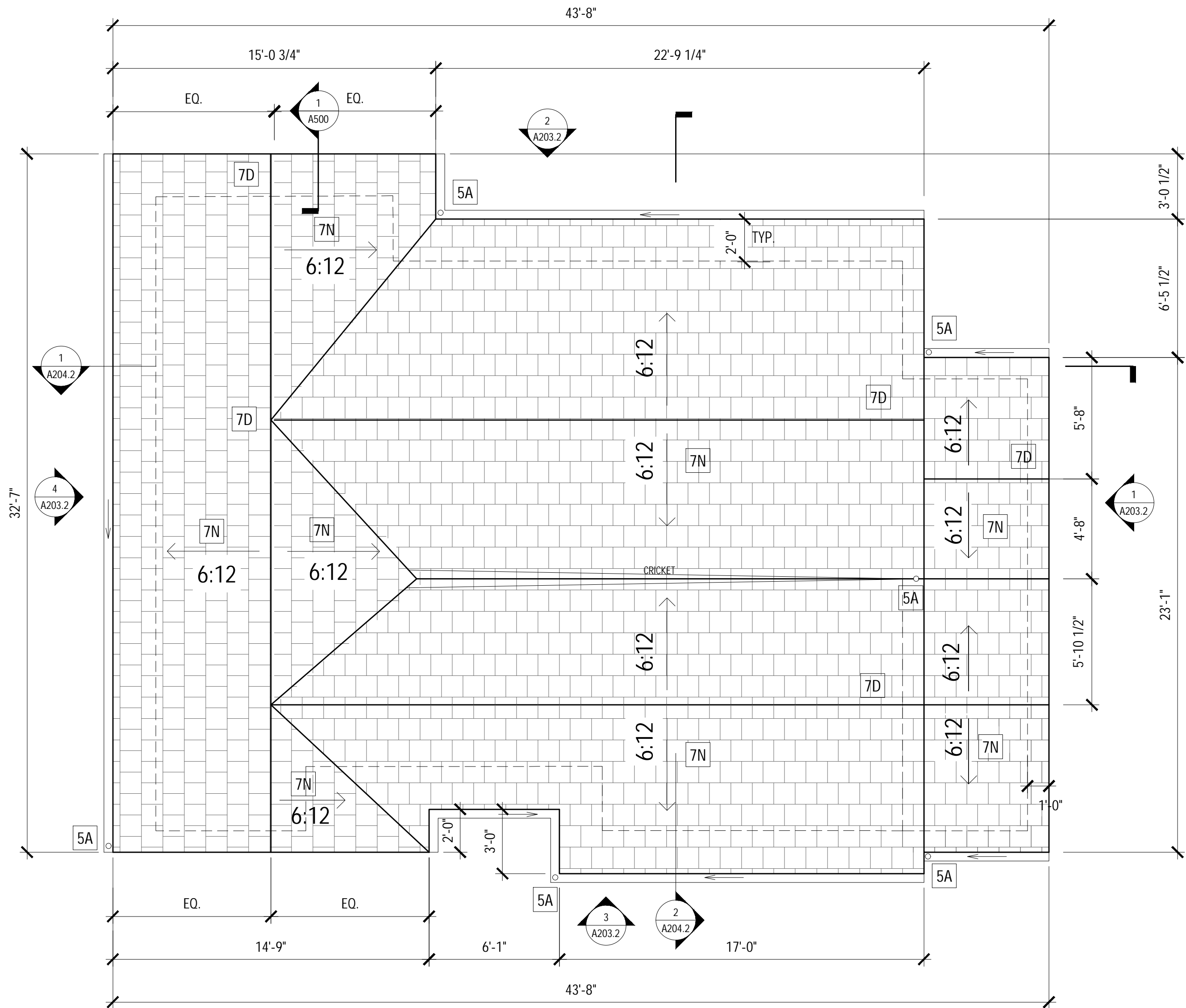
FOR CONSTRUCTION 10/27/17

LOTS 2,3,4,7,9

SHEET

A202.1

TWO BEDROOM  
TYPE A ROOF PLAN



## ROOF PLAN 1

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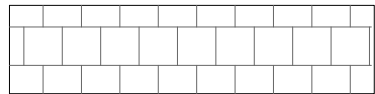
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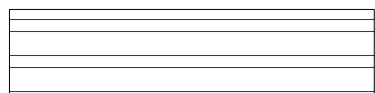
## LEGEND



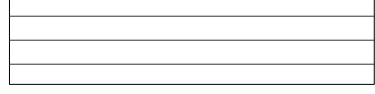
METAL ROOFING/SIDING. FACTORY FINISH FROM STANDARD COLORS, TBD BY OWNER



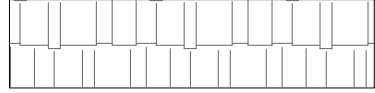
COMPOSITION ROOF, STANDARD COLORS, TBD BY OWNER



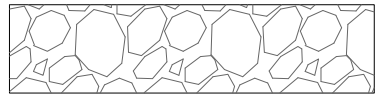
HARDI BOARD 4 AND 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER



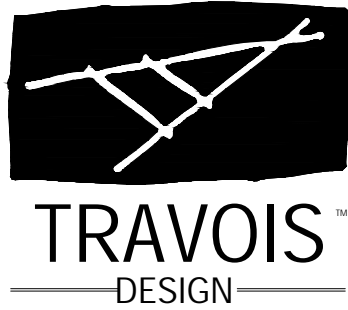
HARDI BOARD, 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER



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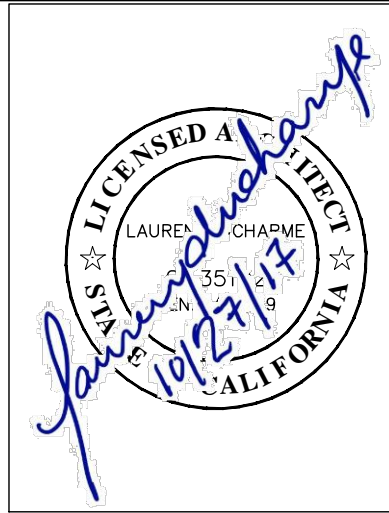
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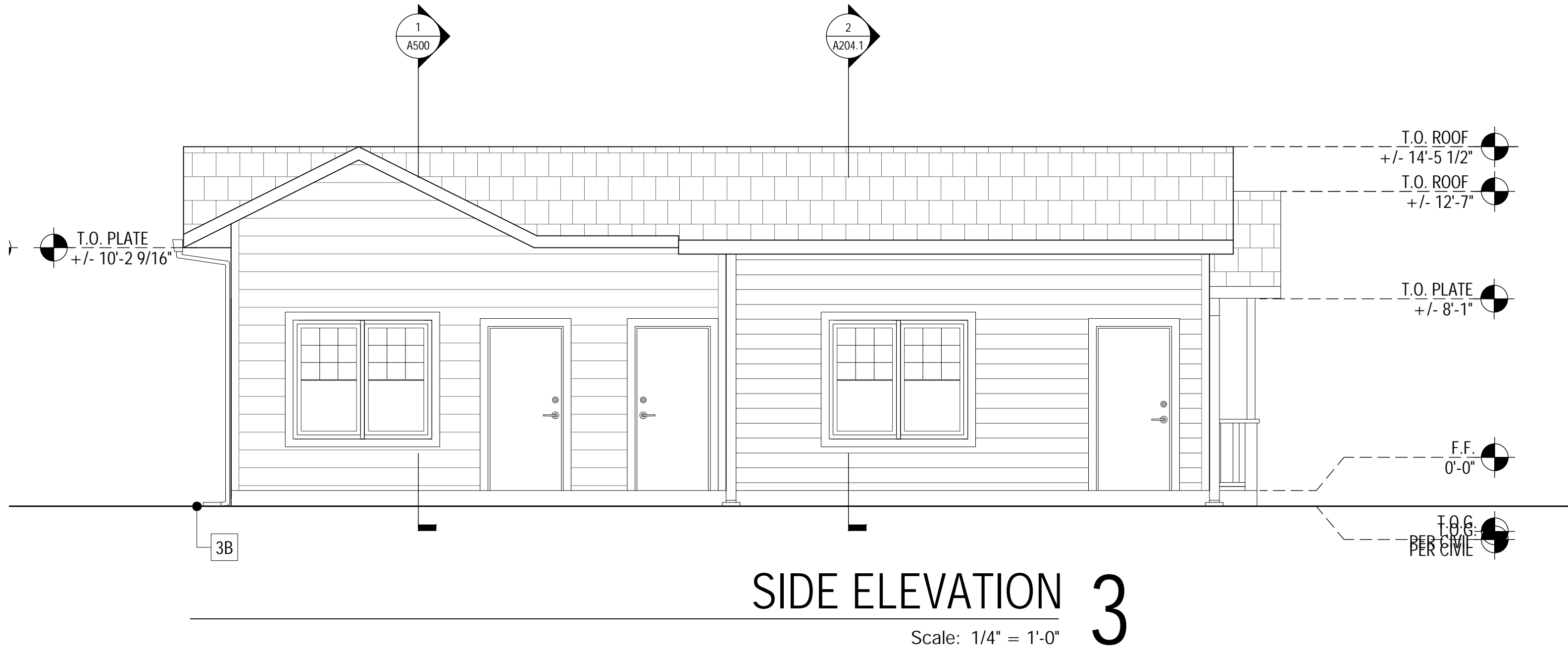
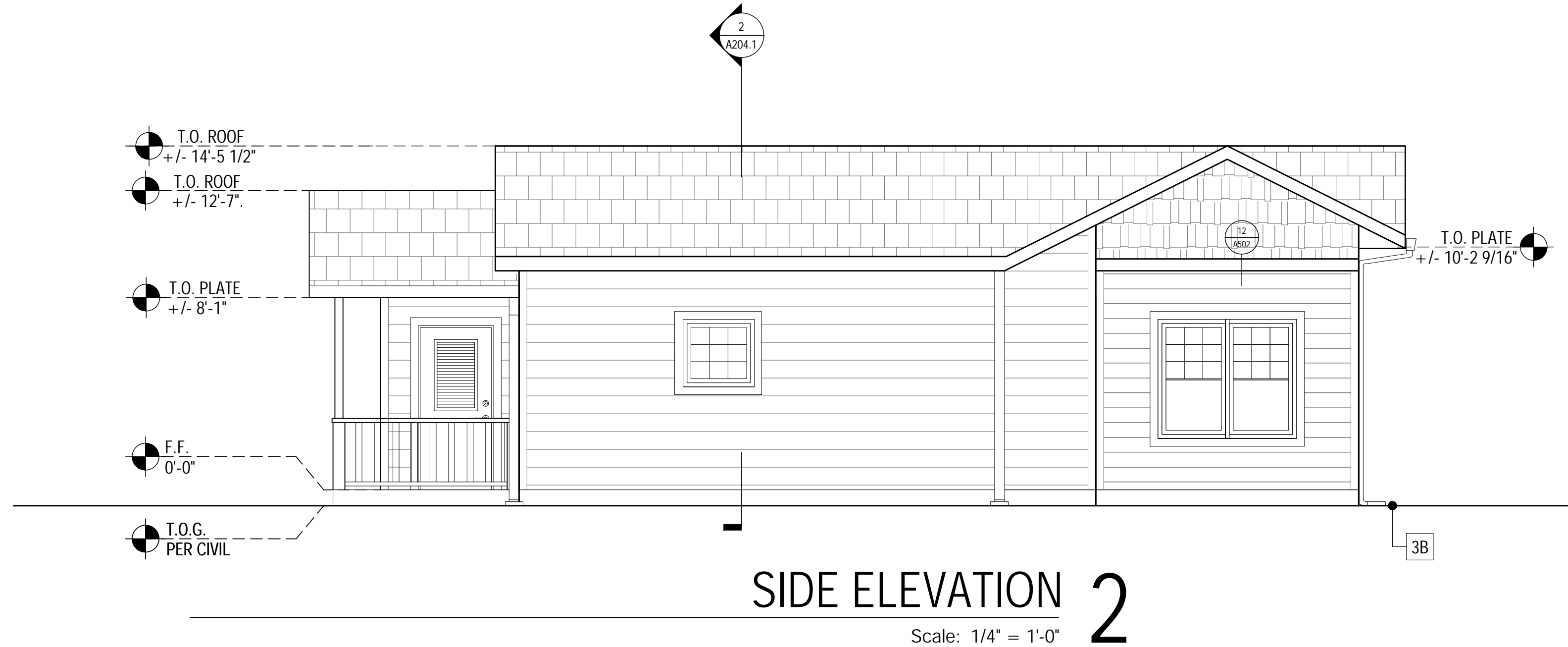
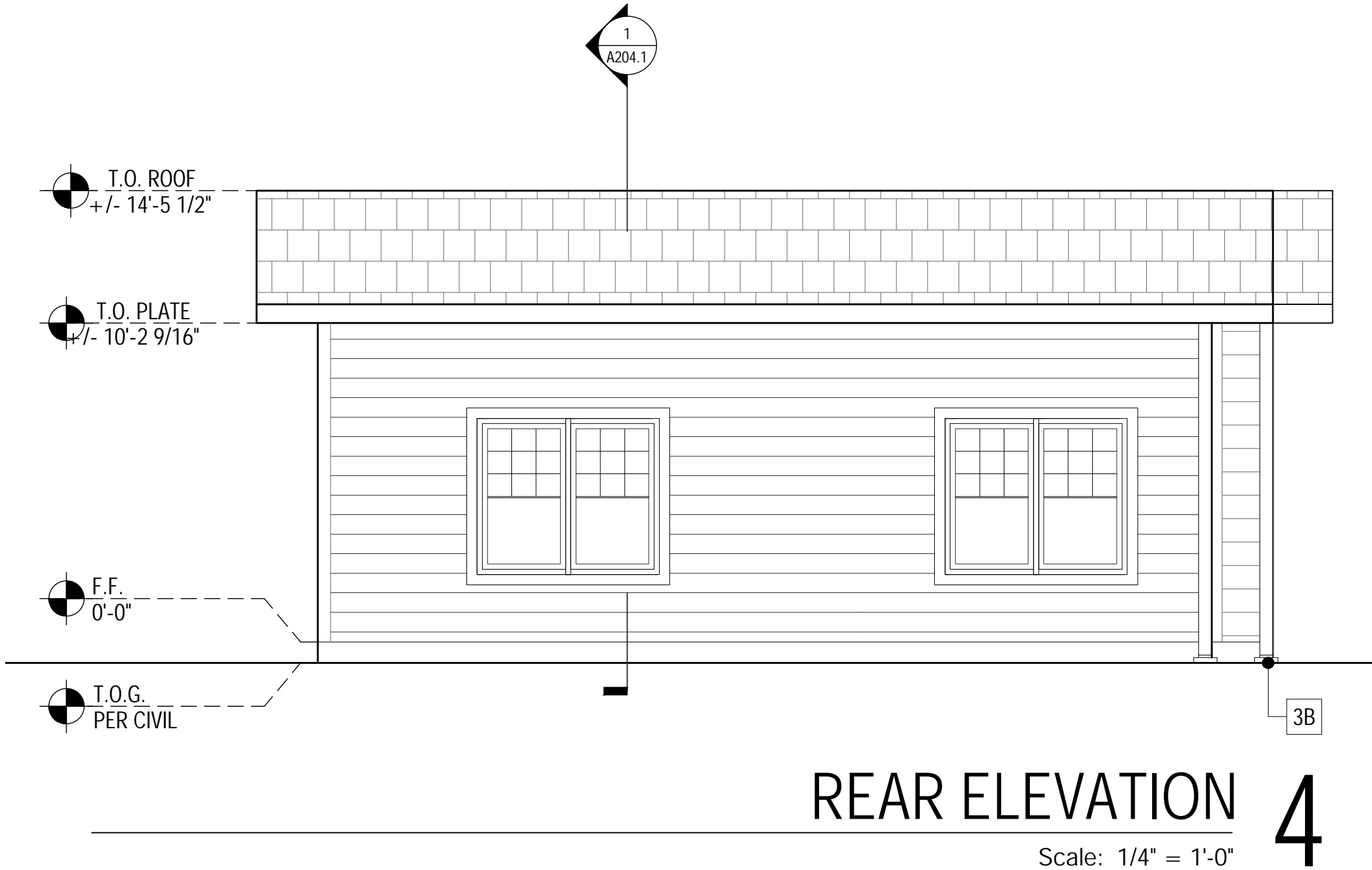
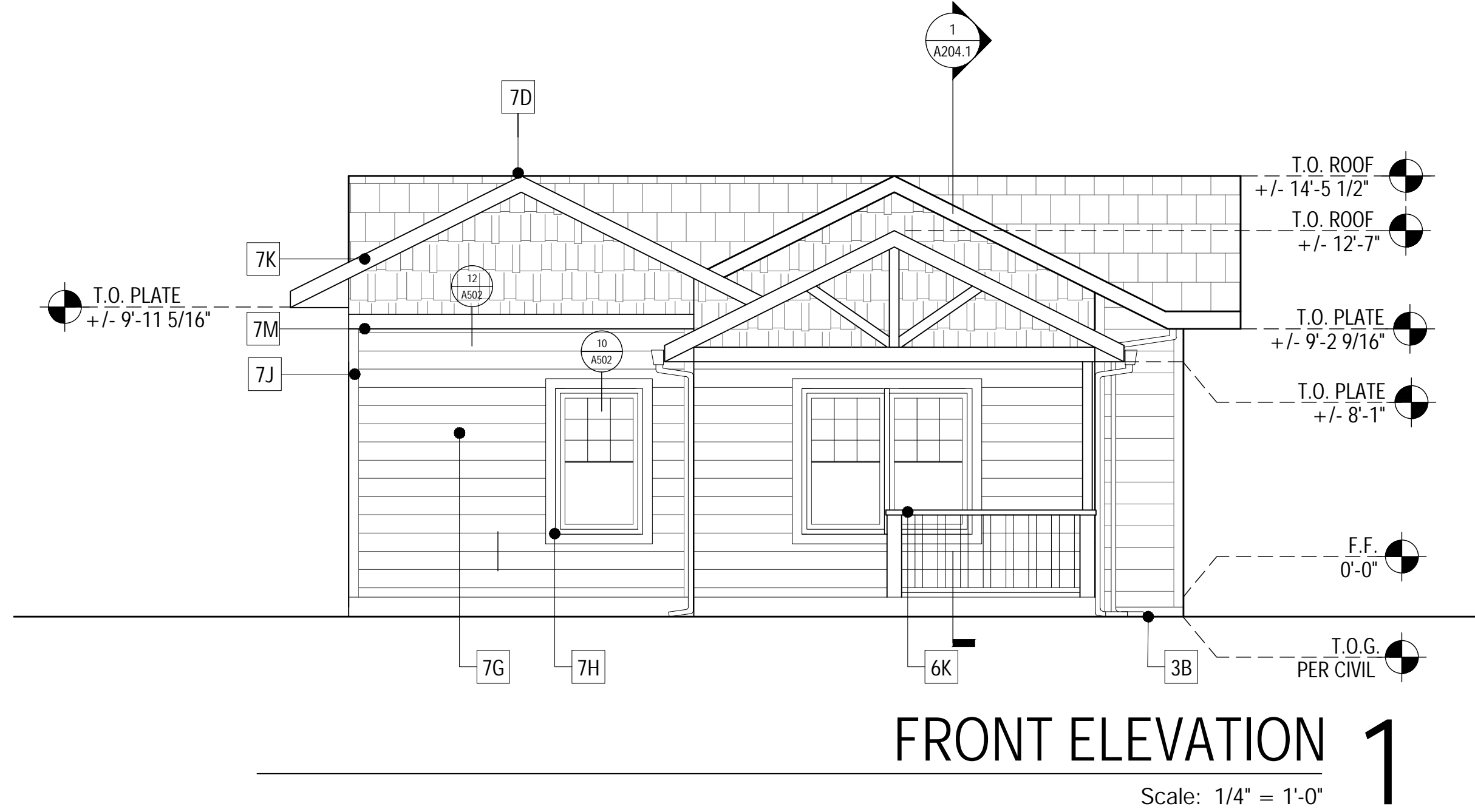
FOR CONSTRUCTION 10/27/17

LOTS 1,5,6,8

SHEET

# A202.2

TWO BEDROOM  
TYPE B ROOF PLAN

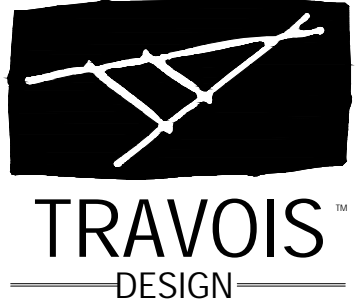


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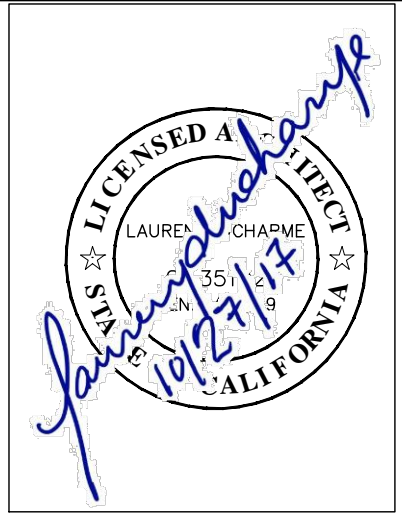
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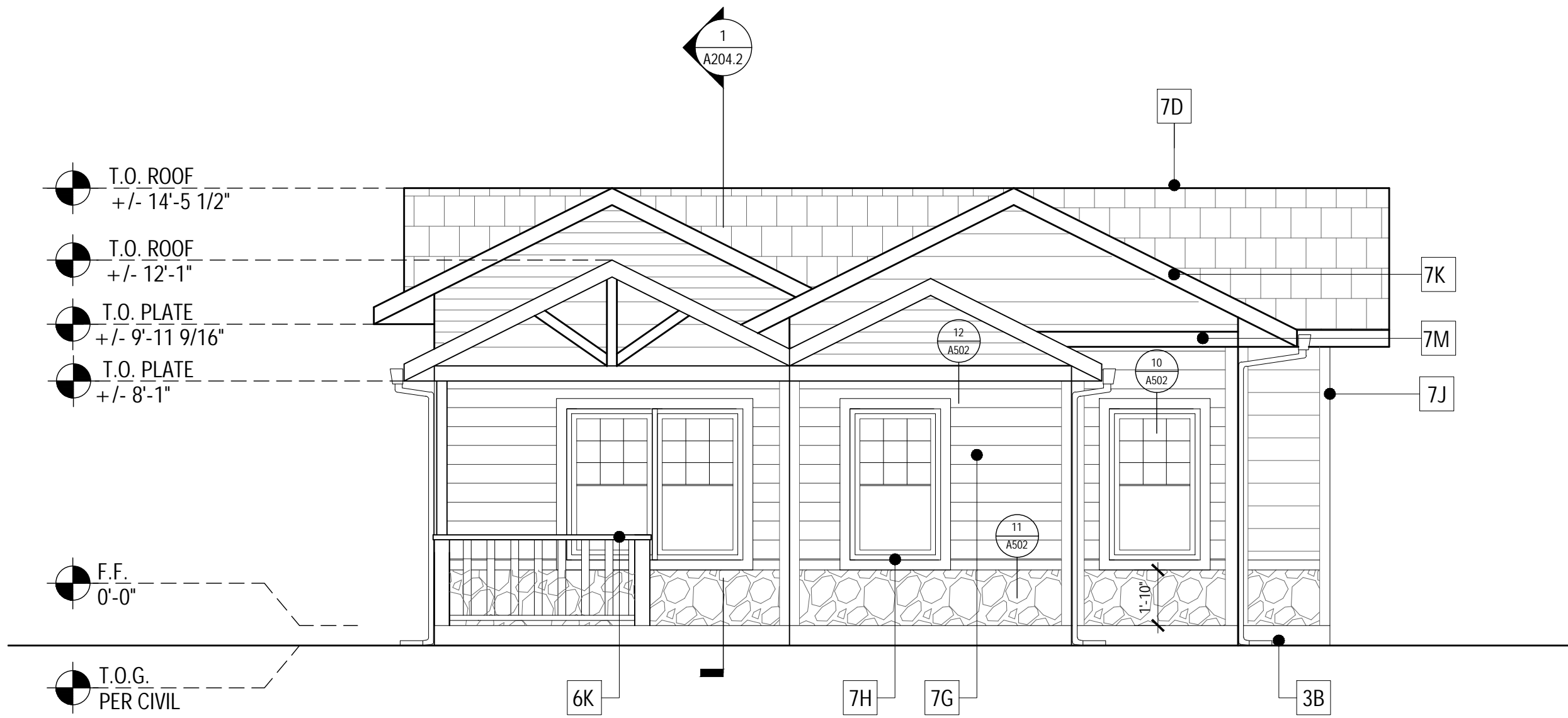
FOR CONSTRUCTION 10/27/17

LOTS 2,3,4,7,9

SHEET

A203.1

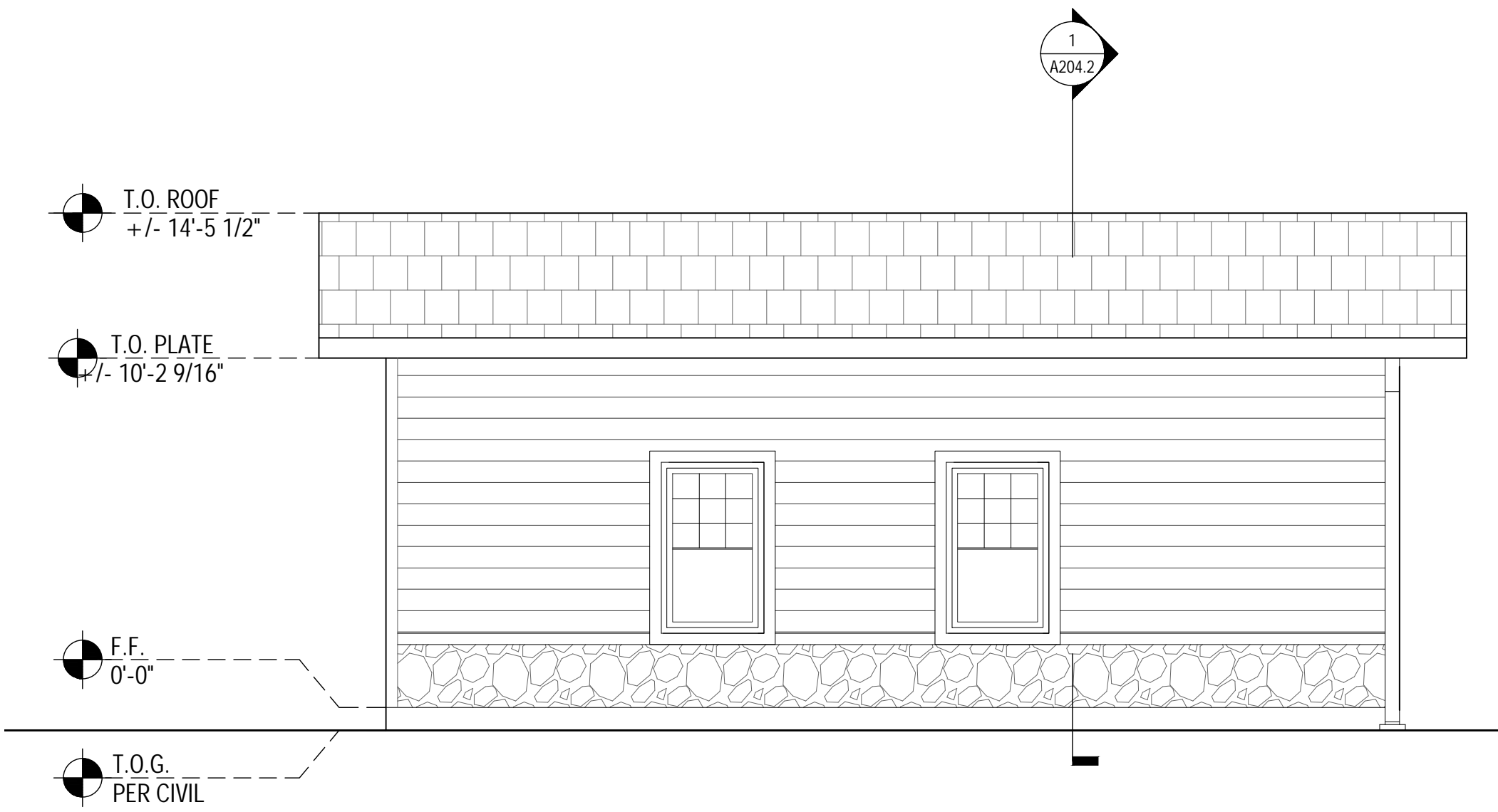
TWO BEDROOM  
TYPE A ELEVATIONS



FRONT ELEVATION

Scale: 1/4" = 1'-0"

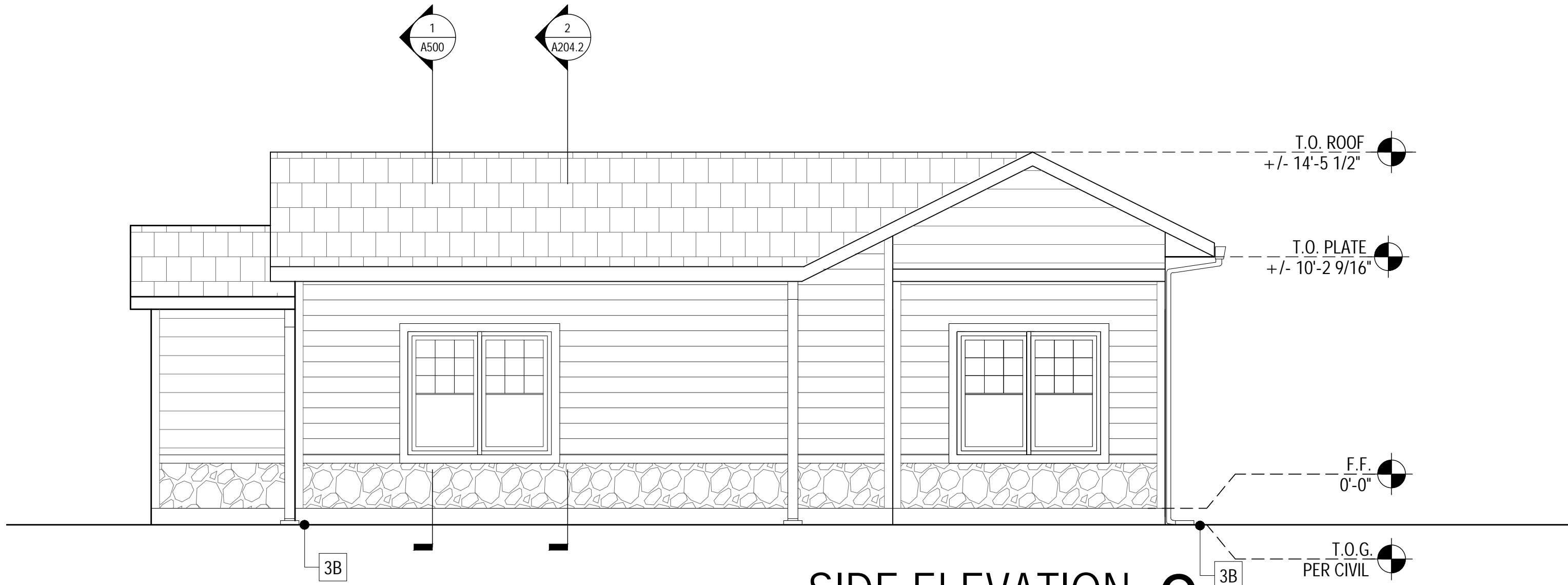
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REAR ELEVATION

Scale: 1/4" = 1'-0"

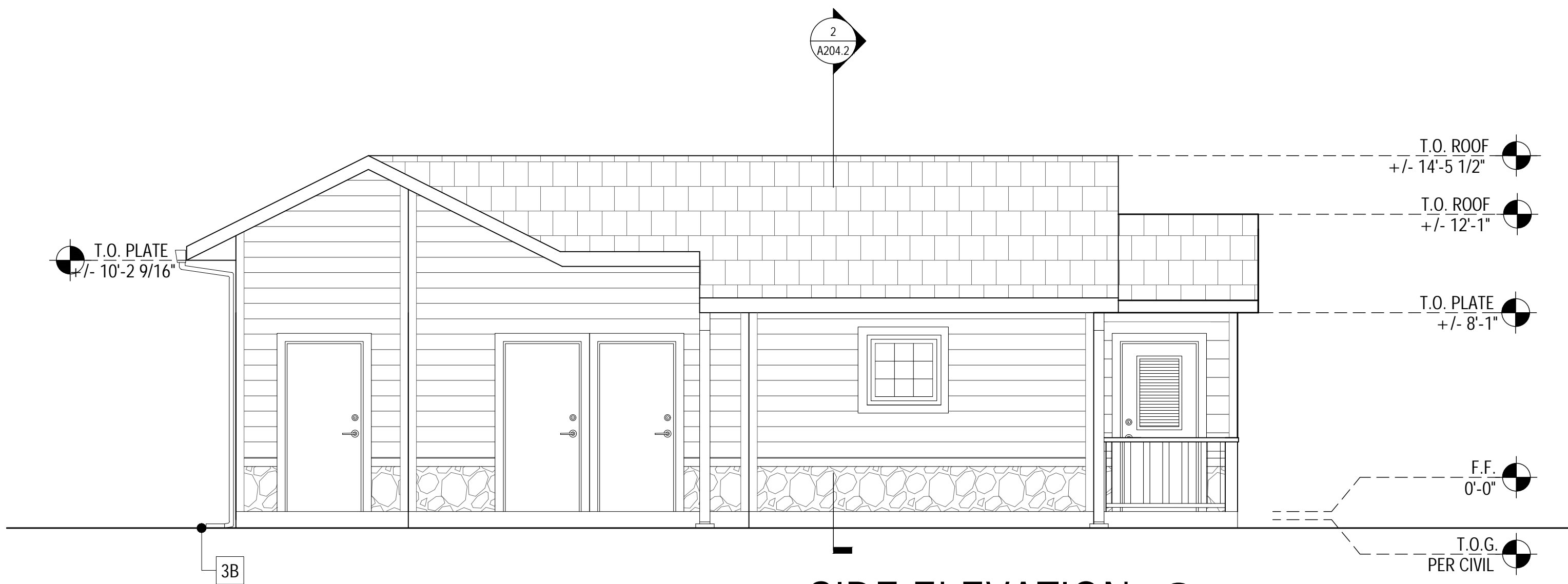
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SIDE ELEVATION

Scale: 1/4" = 1'-0"

2



SIDE ELEVATION

Scale: 1/4" = 1'-0"

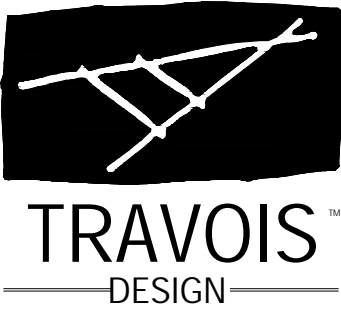
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GENERAL NOTES (ORGANIZED BY CSI DIVISIONS)

1. GENERAL  
1A. SEE AN4 FOR SPECIFICATIONS AND OTHER DRAWINGS FOR INFO NOT SHOWN  
2. SITE WORK  
2A. REFER TO CIVIL FOR BUILDING LOCATIONS AND ADDITIONAL INFORMATION  
3. CONCRETE  
3A. FOUNDATIONS TO BE SLAB ON GRADE OR RAISED CIP. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION AND LOCATIONS  
3B. PRE-CAST SPLASHBLOCK  
3C. VENEER STONE  
3D. CONC. PATIO, BROOM FINISH  
5. METALS  
5A. GUTTER AND DOWNSPOUT  
5B. 12" METAL ICE BREAK AT ALL DOWNSLOPES  
5C. VENTED ALUMINUM SOFFIT WINSECT/ FIRE SCREEN  
5D. METAL ROOF OVER UNDERLAYMENT PER LEGEND  
5E. METAL PANEL  
6. WOOD AND PLASTICS  
6A. ALL WALL DIMENSIONS TO FACE OF STUD OR CENTER OF ROUGH OPENING, U.N.O. SEE ATS LEGEND FOR CLARIFICATIONS  
6B. SEE S SHEETS FOR WALL FRAMING AND TYPES NOT SPECIFICALLY REFERENCED. ALL INTERIOR WALLS TYPE B, U.N.O.  
6C. SEE ATS FOR TYP. WALL TYPES  
6D. ALL PLUMB. & EXTERIOR WALLS SHALL BE 2X6 CONSTRUCTION U.N.O., WALL TYPES A AND C  
6E. COLUMNS PER STRUCTURAL  
6F. FINAL R.O. PER DOOR/MDW MFR  
6G. ALL DOORS TO BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.  
6H. CABINETS PER ENLARGED PLANS  
6J. COUNTERTOP  
6K. 1 1/2" WOOD HANDRAIL, CLEAR COAT GL. GUARDRAIL PER DETAIL 08/A5 02  
7. THERMAL AND WATER PROOFING PROTECTION  
7A. INSULATION  
7B. ANY REMOVABLE FORMWORK TO UTILIZE LOW-TOXICITY FORM RELEASE AGENTS  
7C. ALL WATERPROOFING SYSTEMS TO BE WATER BASED  
7D. RIDGE VENT  
7E. TYVEK BUILDING WRAP  
7F. Z FLASHING  
7G. HARDI BOARD SIDING PER LEGEND  
7H. 5/4 4" PRE-FIN. HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD  
7J. 5/4 4" PRE-FIN. HARDI BOARD PRE-MADE EXT. CORNER TRIM BOARD. STANDARD COLOR, TBD  
7K. PRE-FINISHED HARDI BOARD FASCIA, STANDARD COLOR, TBD  
7L. UNDERSLAB VAPOR BARRIER  
7M. 5/4 6" PRE-FINISHED HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD  
7N. COMP. ROOF SHINGLES OR TPO MEMBRANE, SEE LEGEND  
8. DOORS AND WINDOWS  
8A. SEE DOOR AND WINDOW SCHEDULE  
8B. 24"x48" DRYWALL ATTIC ACCESS SET ON CLEAT. EXACT LOCATION TBD IN FIELD AND COORDINATED WITH TRUSS LOCATIONS  
9. FINISHES  
9A. SEE FINISH SCHEDULE AND SPECIFICATIONS FOR ADD'L INFO  
9B. ALL MATERIALS TO WRAP TO NEAREST INSIDE CORNER OR TO TRANSITION AS SHOWN  
9C. ALL WALL SURFACES IN BATHS, RESTROOMS, LAUNDRY, UTILITY, KITCHEN & WET LOCATIONS, AREAS IMMEDIATELY ADJ. TO RANGE TOP & HOT WATER HEATER TO RECEIVE WATER RESIST. PURPLE GYP. BD.  
9D. GYPSUM BOARD  
10. SPECIALTIES  
10A. PROVIDE (5) TIERS OF 24" DEEP MDF SHELVING. PAINT TO MATCH WALLS, TYP.  
10B. WALL MOUNTED MIRROR ABOVE SINK AND COUNTER  
10C. PROVIDE (1) CHROME TOILET PAPER TOWEL HOLDER PER TOILET/STALL  
10D. PROVIDE (1) SOAP DISPENSER PER SINK  
10E. GRAB BARS WITH BACKING @ ADA UNITS. PROVIDE BACKING @ UNIVERSAL DESIGN UNITS  
10F. CLEARLY MARKED, ADDRESS NUMBERS  
10G. (2) TOWEL BARS  
10H. TOILET PARTITIONS  
10I. RECESSED MED. CAB. WITH MIRROR  
10J. PROVIDE NEW, 12" WHITE, WIRE SHELF. PROVIDE 1" SATIN NICKEL METAL ROD IN CLOSETS  
10K. MOVEABLE PARTITIONS  
11. EQUIPMENT (SEE AN4 AND MEP FOR ADDITIONAL INFO)  
11A. ALL APPLIANCES AND FIXTURES TO BE ENERGY STAR RATED PER AN SHEETS AND ADA COMPLIANT AT ADA UNITS PER SITE PLAN  
11B. FREE STANDING OVEN AND RANGE WITH HOOD, SIDE WALL VENT  
11C. DISHWASHER PER PLUMBING  
11D. REFRIGERATOR WITH SELF DEFROSTING FREEZER  
11E. WASHER/DRYER  
11F. FURNISHINGS SHOWN FOR REF. ONLY, NIC  
13. ACCESSIBLE ELEMENTS (SEE AN1-3 FOR ADDITIONAL INFO AND SITE PLAN FOR APPLICABLE UNITS)  
13A. 30"x42" CLEAR SPACE  
13B. 5' TURNING RADIUS OR 5' "T" SPACE  
13C. 30" WIDE WORKSPACE WITH ADJUSTABLE OR LOWERABLE COUNTERTOP SPACE PER 804.3/AN3  
13D. 18" PUSH AND 12" PULL CLEARANCE AT LATCH SIDE, TYP.  
13E. REMOVEABLE BASE CABINETS PER 804.3/AN3. CONTINUE FLOORING TO BACK WALL  
15/16. MEP  
15A. SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES  
15B. TOILET/URINAL PER PLUMBING  
15C. SINK PER PLUMBING  
15D. CONDENSER PER PLUMBING  
15E. WATER HEATER PER PLUMBING  
15F. HVAC PER MECH  
15G. TUB AND SURROUND OR ROLL-IN SHOWER AT FIRST FLOOR OF ADA UNITS PER PLUMBING: HOTEL SHOWER WAND AND GRAB BARS AT ADA UNITS, OFFSET CONTROLS @ ADA AND U.D. UNITS  
15H. SEE ELECTRICAL PLANS FOR ADDITIONAL REFERENCE  
15I. DRINKING FOUNTAINS PER PUMING

LEGEND

- METAL ROOFING/SIDING. FACTORY FINISH FROM STANDARD COLORS, TBD BY OWNER
- COMPOSITION ROOF, STANDARD COLORS, TBD BY OWNER
- HARDI BOARD4 AND 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER
- HARDI BOARD, 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER
- HARDI BOARD CEDAR SHAKES, RANDOM EDGE DOWN, STANDARD MFR. COLORS 1 AND 2 TBD BY OWNER
- CORONADO VILLA STONE VENEER COLOR TBD BY OWNER



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REVISION	DATE
25% CDs	06/30/17
40% CDs	07/28/17
75% CDs	09/22/17
90% CDs	10/16/17
100% CDs	10/27/17

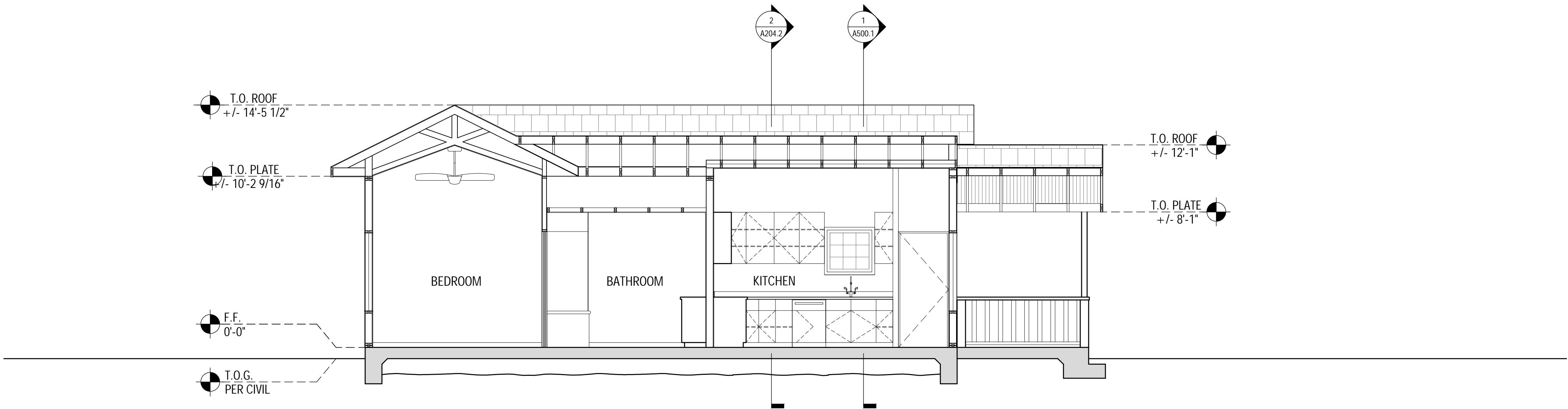
FOR CONSTRUCTION 10/27/17

LOTS 1,5,6,8

SHEET

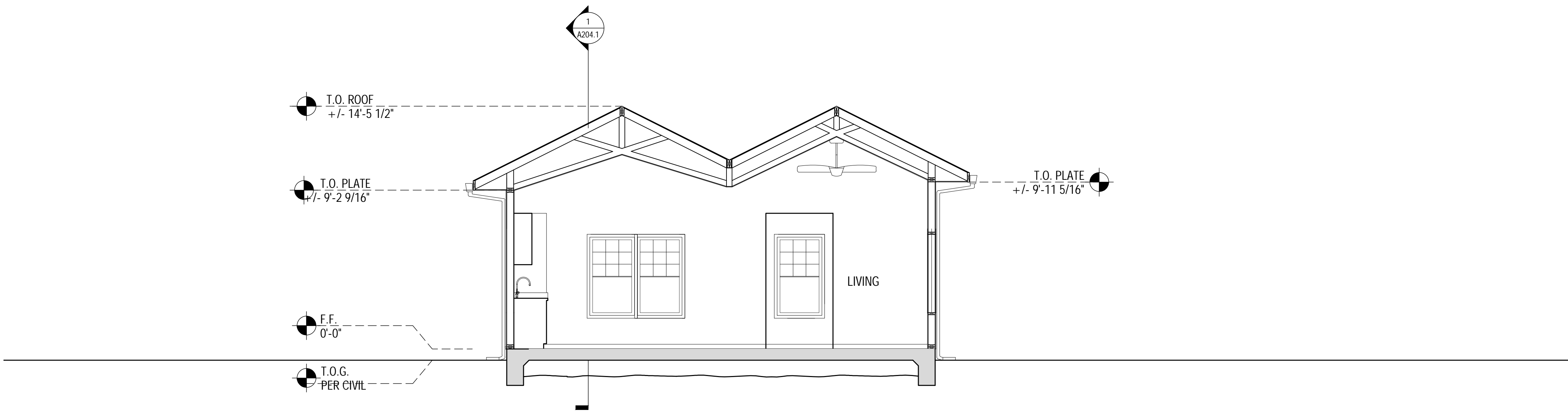
A203.2

TWO BEDROOM  
TYPE B ELEVATIONS



## LONGITUDINAL SECTION 1

Scale: 1/4" = 1'-0"



## TRANSVERSE SECTION 2

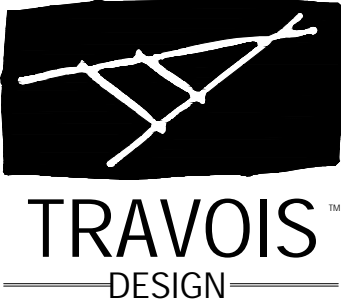
Scale: 1/4" = 1'-0"

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- 3B. PRE-CAST SPLASHBLOCK
- 3C. VENEER STONE
- 3D. CONC. PATIO, BROOM FINISH
5. METALS
- 5A. GUTTER AND DOWNSPOUT
- 5B. 12" METAL ICE BREAK AT ALL DOWNSLOPES
- 5C. VENTED ALUMINUM SOFFIT WINSECT/ FIRE SCREEN
- 5D. METAL ROOF OVER UNDERLAYMENT PER LEGEND
- 5E. METAL PANEL
6. WOOD AND PLASTICS
- 6A. ALL WALL DIMENSIONS TO FACE OF STUD OR CENTER OF ROUGH OPENING, U.N.O. SEE ATS LEGEND FOR CLARIFICATIONS
- 6B. SEE S SHEETS FOR WALL FRAMING AND TYPES NOT SPECIFICALLY REFERENCED. ALL INTERIOR WALLS TYPE B, U.N.O.
- 6C. SEE ATS FOR TYP. WALL TYPES
- 6D. ALL PLUMB. & EXTERIOR WALLS SHALL BE 2X6 CONSTRUCTION U.N.O., WALL TYPES A AND C
- 6E. COLUMNS PER STRUCTURAL
- 6F. FINAL R.O. PER DOOR/WDW MFR
- 6G. ALL DOORS TO BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.
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- 6J. COUNTERTOP
- 6K. 1 1/2" WOOD HANDRAIL, CLEAR COAT GL. GUARDRAIL PER DETAIL 08/A5 02
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- 7A. INSULATION
- 7B. ANY REMOVABLE FORMWORK TO UTILIZE LOW-TOXICITY FORM RELEASE AGENTS
- 7C. ALL WATERPROOFING SYSTEMS TO BE WATER BASED
- 7D. RIDGE VENT
- 7E. TYVEK BUILDING WRAP
- 7F. Z FLASHING
- 7G. HARDI BOARD SIDING PER LEGEND
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- 10F. CLEARLY MARKED, ADDRESS NUMBERS
- 10G. (2) TOWEL BARS
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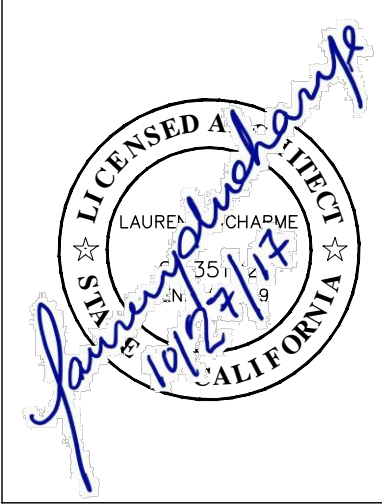
### LEGEND

- |  |   |
|--|---|
|  | METAL ROOFING/SIDING. FACTORY FINISH FROM STANDARD COLORS, TBD BY OWNER               |
|  | COMPOSITION ROOF, STANDARD COLORS, TBD BY OWNER                                       |
|  | HARDI BOARD4 AND 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER             |
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REVISION	DATE
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25% CDs	06/30/17
40% CDs	07/28/17
75% CDs	09/22/17
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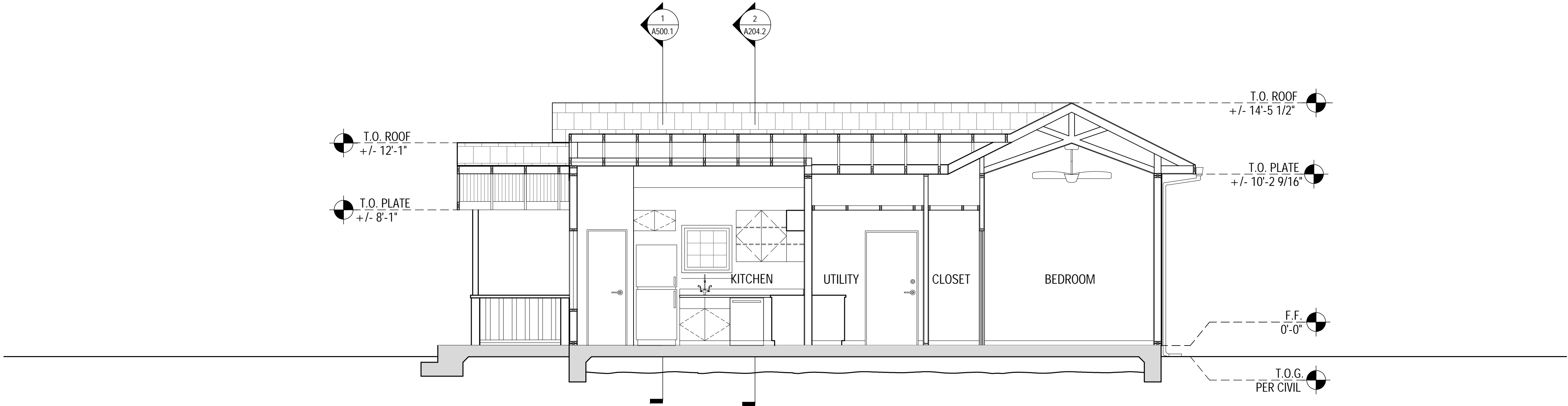
FOR CONSTRUCTION 10/27/17

LOTS 2,3,4,7,9

SHEET

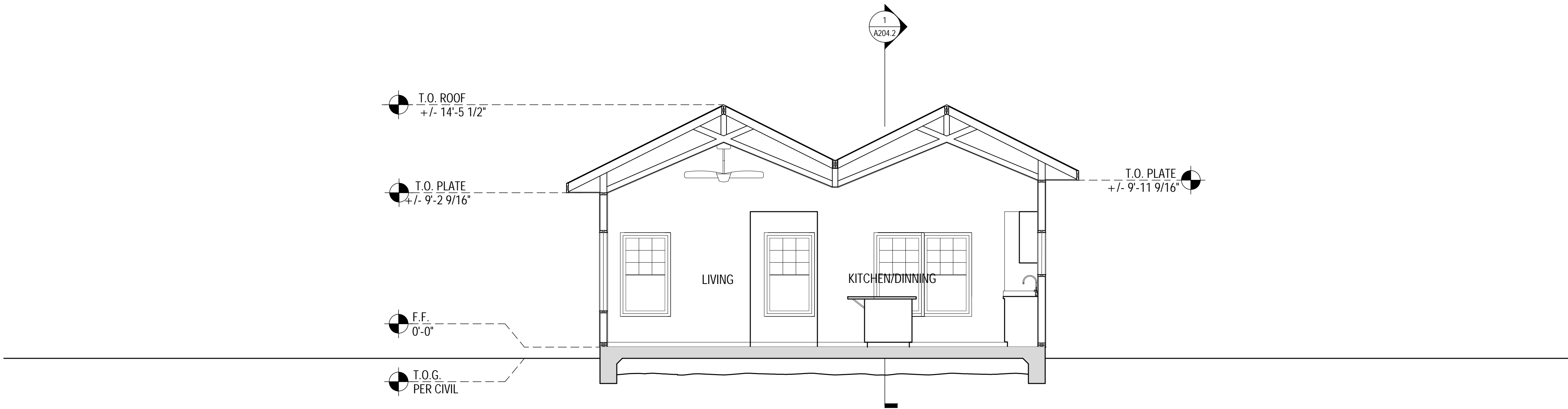
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TWO BEDROOM TYPE A  
SECTIONS



LONGITUDINAL SECTION 1

Scale: 1/4" = 1'-0"




TRANSVERSE SECTION 2

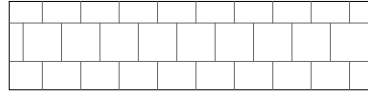
Scale: 1/4" = 1'-0"

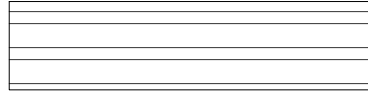
GENERAL NOTES (ORGANIZED BY CSI DIVISIONS)

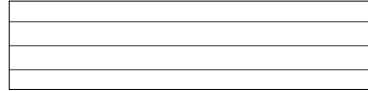
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LEGEND

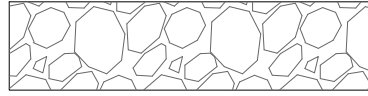
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METAL ROOFING/SIDING. FACTORY FINISH FROM STANDARD COLORS, TBD BY OWNER
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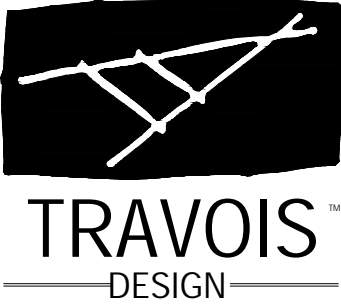
COMPOSITION ROOF, STANDARD COLORS, TBD BY OWNER
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HARDI BOARD4 AND 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER
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HARDI BOARD, 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER
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HARDI BOARD. CEDAR SHAKES, RANDOM EDGE DOWN, STANDARD MFR. COLORS 1 AND 2 TBD BY OWNER
- 

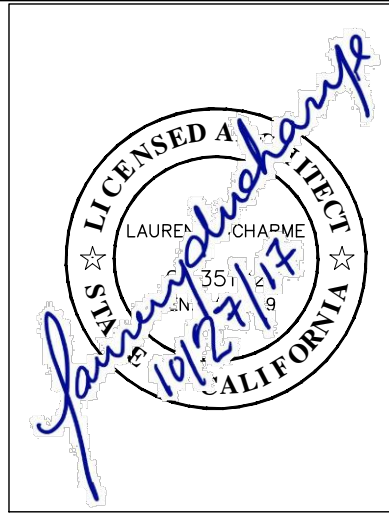
CORONADO VILLA STONE VENEER COLOR TBD BY OWNER



Coyote Valley Homes I, LIHTC

Redwood Valley, California

TRAVOIS ARCHITECTURE, PC  
310 W. 19TH TERRACE  
KANSAS CITY, MO 64108  
P 816.994.8970  
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75% CDs	09/22/17
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100% CDs	10/27/17

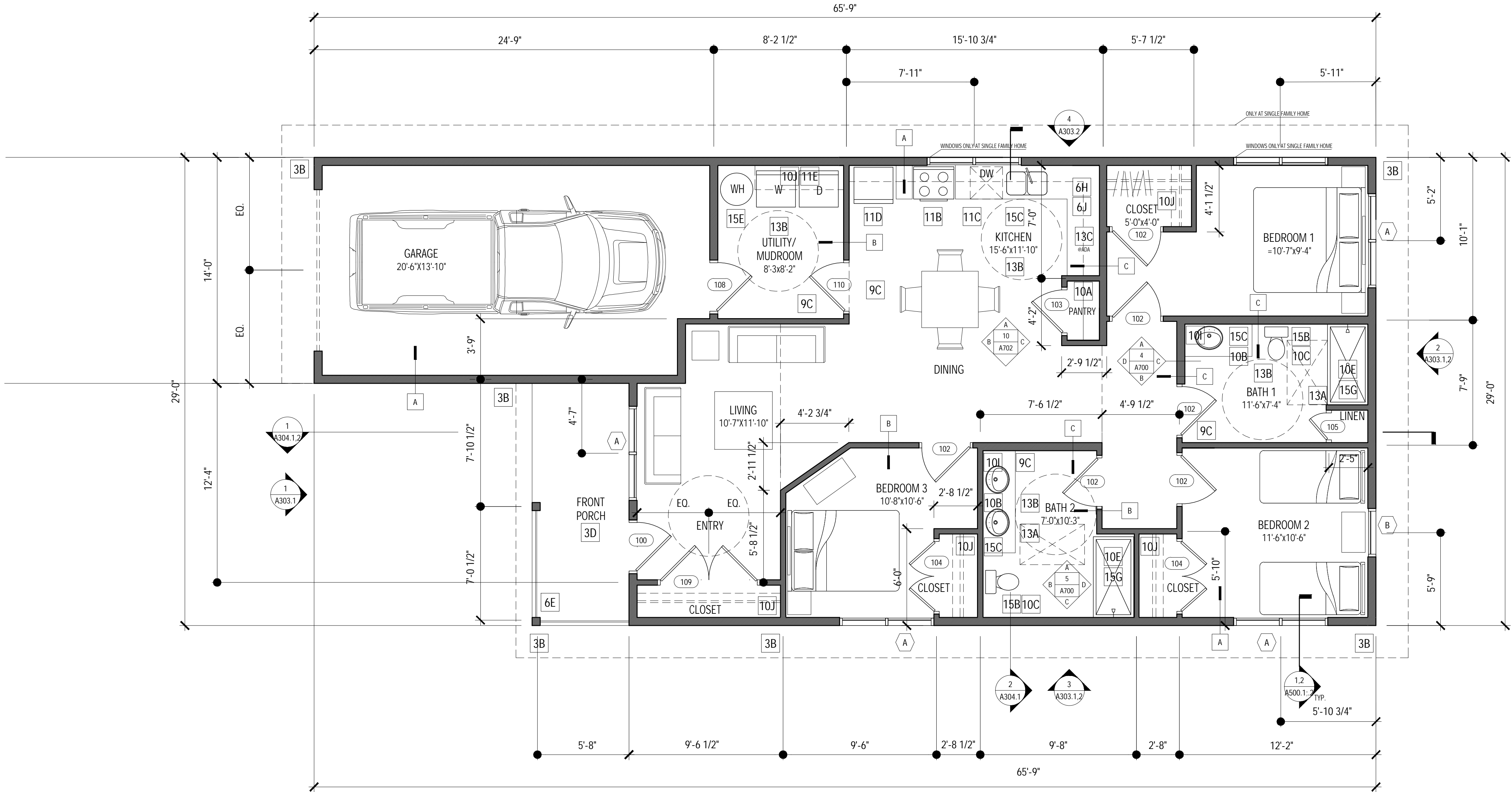
FOR CONSTRUCTION 10/27/17

LOTS 1,5,6,8

SHEET

A204.2

TWO BEDROOM TYPE B SECTIONS



FLOOR PLAN 1

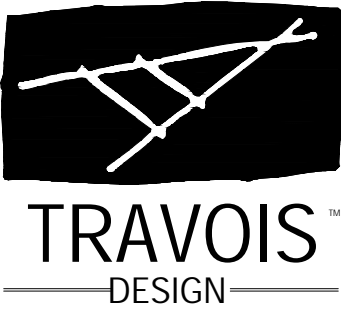
Scale: 1/4" = 1'-0"

GENERAL NOTES (ORGANIZED BY CSI DIVISIONS)

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- 1A. SEE AN4 FOR SPECIFICATIONS AND OTHER DRAWINGS FOR INFO NOT SHOWN
- 2. SITE WORK
- 2A. REFER TO CIVIL FOR BUILDING LOCATIONS AND ADDITIONAL INFORMATION
- 3. CONCRETE
- 3A. FOUNDATIONS TO BE SLAB ON GRADE OR RAISED CIP. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION AND LOCATIONS
- 3B. PRE-CAST SPLASHBLOCK
- 3C. VENEER STONE
- 3D. CONC. PATIO, BROOM FINISH
- 5. METALS
- 5A. GUTTER AND DOWNSPOUT
- 5B. 12" METAL ICE BREAK AT ALL DOWNSLOPES
- 5C. VENTED ALUMINUM SOFFIT W/INSECT/ FIRE SCREEN
- 5D. METAL ROOF OVER UNDERLAYMENT PER LEGEND
- 5E. METAL PANEL
- 6. WOOD AND PLASTICS
- 6A. ALL WALL DIMENSIONS TO FACE OF STUD OR CENTER OF ROUGH OPENING, U.N.O. SEE ATS LEGEND FOR CLARIFICATIONS
- 6B. SEE S SHEETS FOR WALL FRAMING AND TYPES NOT SPECIFICALLY REFERENCED. ALL INTERIOR WALLS TYPE B, U.N.O.
- 6C. SEE ATS FOR TYP. WALL TYPES
- 6D. ALL PLUMB. & EXTERIOR WALLS SHALL BE 2X6 CONSTRUCTION U.N.O., WALL TYPES A AND C
- 6E. COLUMNS PER STRUCTURAL
- 6F. FINAL R.O. PER DOOR/WDW MFR
- 6G. ALL DOORS TO BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.
- 6H. CABINETS PER ENLARGED PLANS
- 6J. COUNTERTOP
- 6K. 1 1/2" WOOD HANDRAIL, CLEAR COAT GL. GUARDRAIL PER DETAIL 08/A5 02
- 7. THERMAL AND WATER PROOFING PROTECTION
- 7A. INSULATION
- 7B. ANY REMOVABLE FORMWORK TO UTILIZE LOW-TOXICITY FORM RELEASE AGENTS
- 7C. ALL WATERPROOFING SYSTEMS TO BE WATER BASED
- 7D. RIDGE VENT
- 7E. TYVEK BUILDING WRAP
- 7F. Z FLASHING
- 7G. HARDI BOARD SIDING PER LEGEND
- 7H. 5/4 4" PRE-FIN. HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD
- 7J. 5/4 4" PRE-FIN. HARDI BOARD PRE-MADE EXT. CORNER TRIM BOARD. STANDARD COLOR, TBD
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- 8A. SEE DOOR AND WINDOW SCHEDULE
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- 9B. ALL MATERIALS TO WRAP TO NEAREST INSIDE CORNER OR TO TRANSITION AS SHOWN
- 9C. ALL WALL SURFACES IN BATHS, RESTROOMS, LAUNDRY, UTILITY, KITCHEN & WET LOCATIONS, AREAS IMMEDIATELY ADJ. TO RANGE TOP & HOT WATER HEATER TO RECEIVE WATER RESIST. PURPLE GYP. BD.
- 9D. GYPSUM BOARD
- 10. SPECIALTIES
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- 10C. PROVIDE (1) CHROME TOILET PAPER TOWEL HOLDER PER TOILET/STALL
- 10D. PROVIDE (1) SOAP DISPENSER PER SINK
- 10E. GRAB BARS WITH BACKING @ ADA UNITS. PROVIDE BACKING @ UNIVERSAL DESIGN UNITS
- 10F. CLEARLY MARKED, ADDRESS NUMBERS
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- 10H. TOILET PARTITIONS
- 10I. RECESSED MED. CAB. WITH MIRROR
- 10J. PROVIDE NEW, 12" WHITE, WIRE SHELF. PROVIDE 1" SATIN NICKEL METAL ROD IN CLOSETS
- 10K. MOVEABLE PARTITIONS
- 11. EQUIPMENT (SEE AN4 AND MEP FOR ADDITIONAL INFO)
- 11A. ALL APPLIANCES AND FIXTURES TO BE ENERGY STAR RATED PER AN SHEETS AND ADA COMPLIANT AT ADA UNITS PER SITE PLAN
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- 11E. WASHER/DRYER
- 11F. FURNISHINGS SHOWN FOR REF. ONLY, NIC
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- 13A. 30"x42" CLEAR SPACE
- 13B. 5' TURNING RADIUS OR 5' "T" SPACE
- 13C. 30" WIDE WORKSPACE WITH ADJUSTABLE OR LOWERABLE COUNTERTOP SPACE PER 804.3/AN3
- 13D. 18" PUSH AND 12" PULL CLEARANCE AT LATCH SIDE, TYP.
- 13E. REMOVEABLE BASE CABINETS PER 804.3/AN3. CONTINUE FLOORING TO BACK WALL
- 15/16. MEP
- 15A. SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES
- 15B. TOILET/URINAL PER PLUMBING
- 15C. SINK PER PLUMBING
- 15D. CONDENSER PER PLUMBING
- 15E. WATER HEATER PER PLUMBING
- 15F. HVAC PER MECH
- 15G. TUB AND SURROUND OR ROLL-IN SHOWER AT FIRST FLOOR OF ADA UNITS PER PLUMBING: HOTEL SHOWER WAND AND GRAB BARS AT ADA UNITS, OFFSET CONTROLS @ ADA AND U.D. UNITS
- 15H. SEE ELECTRICAL PLANS FOR ADDITIONAL REFERENCE
- 15I. DRINKING FOUNTAINS PER PUMBING

LEGEND

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- COMPOSITION ROOF. STANDARD COLORS, TBD BY OWNER
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LOTS 14,20.

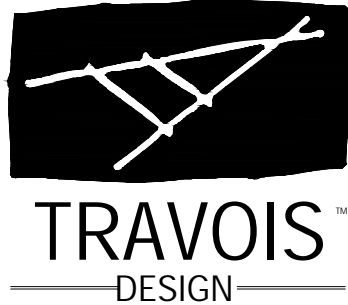
LOTS 12,13,27,28

SHEET

A300.1

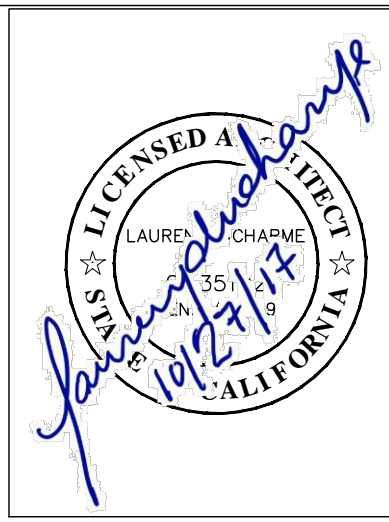
THREE BEDROOM

TYPE A FLOOR PLAN



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LOT 17  
LOTS 15,16,,18,19.

SHEET

A300.2

THREE BEDROOM  
TYPE B FLOOR PLAN

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UPPER FLOOR PLAN

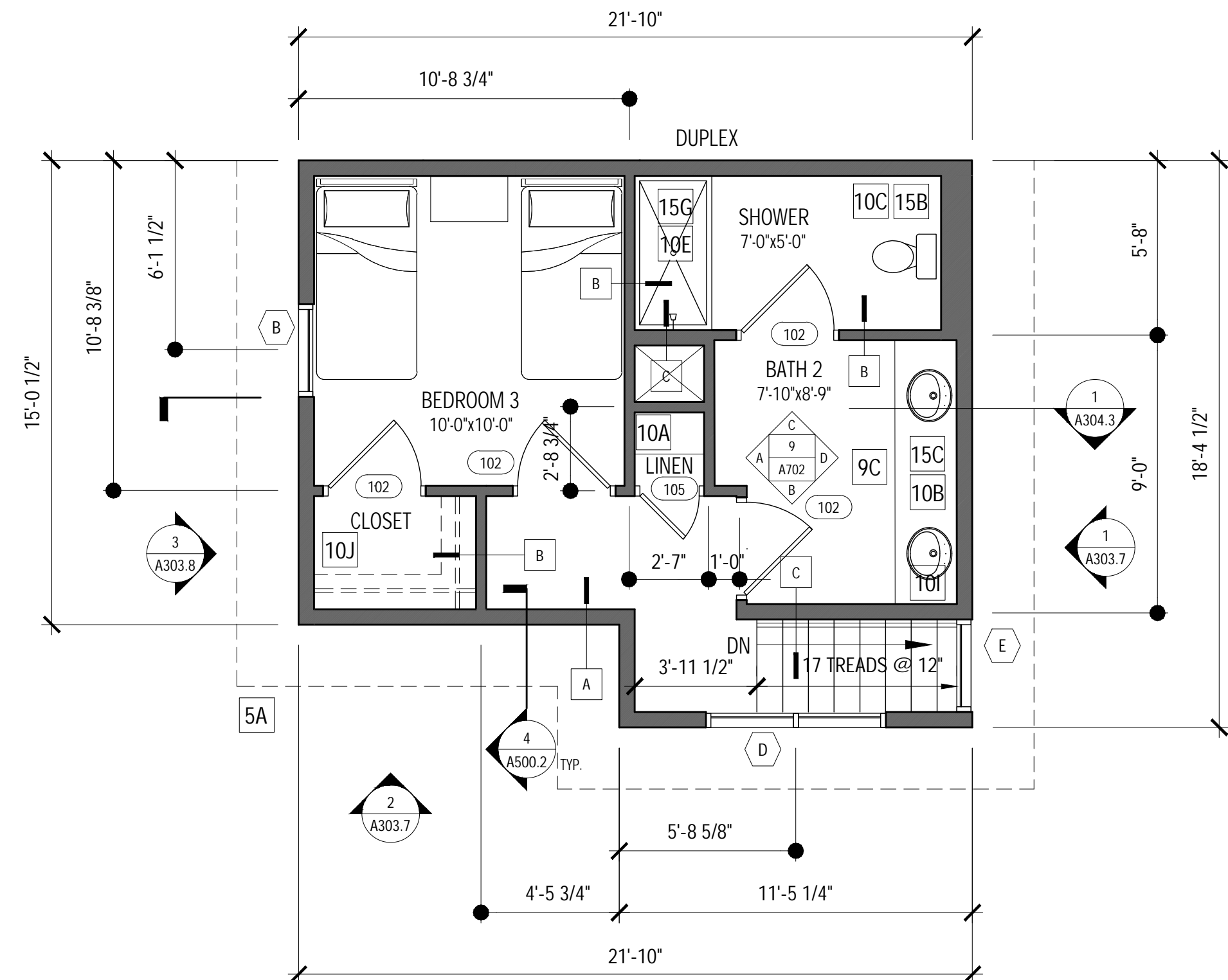
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2

GROUND FLOOR PLAN

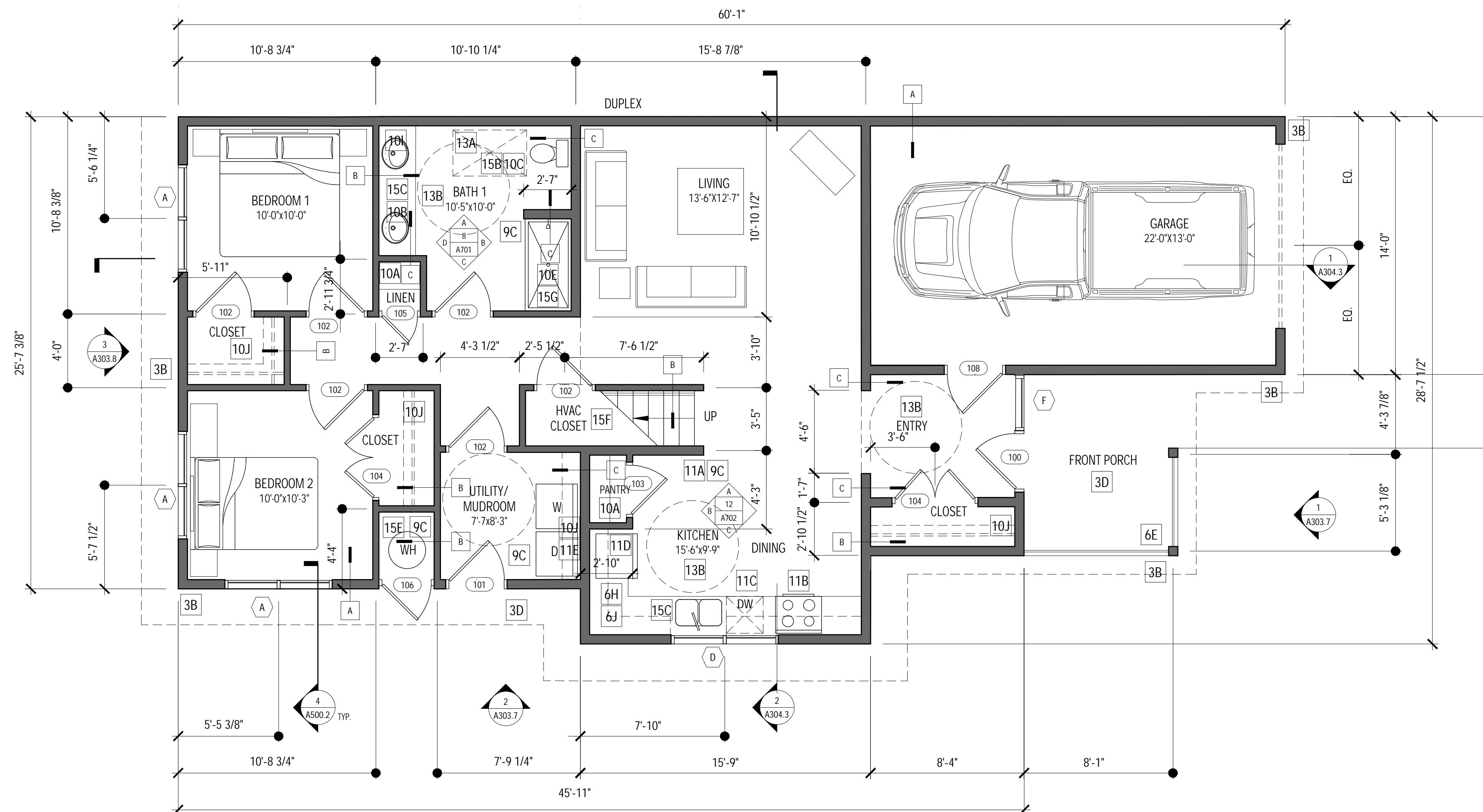
Scale: 1/4" = 1'-0"

1



UPPER FLOOR PLAN 2

Scale: 1/4" = 1'-0"



GROUND FLOOR PLAN 1

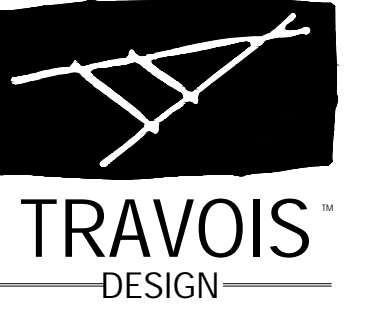
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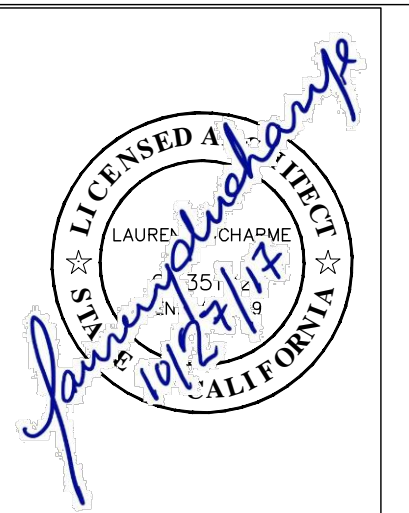
## LEGEND

- |  |  |
|--|--|
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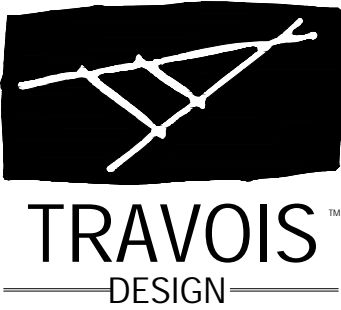
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LOTS 23,24.

SHEET

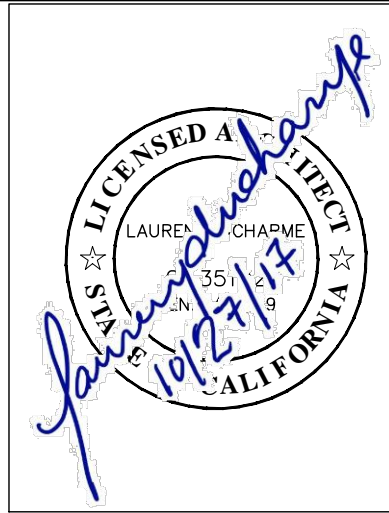
A300.3

THREE BEDROOM  
TYPE C FLOOR PLAN



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Redwood Valley, California

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100% CDs	10/27/17

FOR CONSTRUCTION 10/27/17

LOTS 14,20  
LOTS 12,13,27,28

SHEET

A301.1

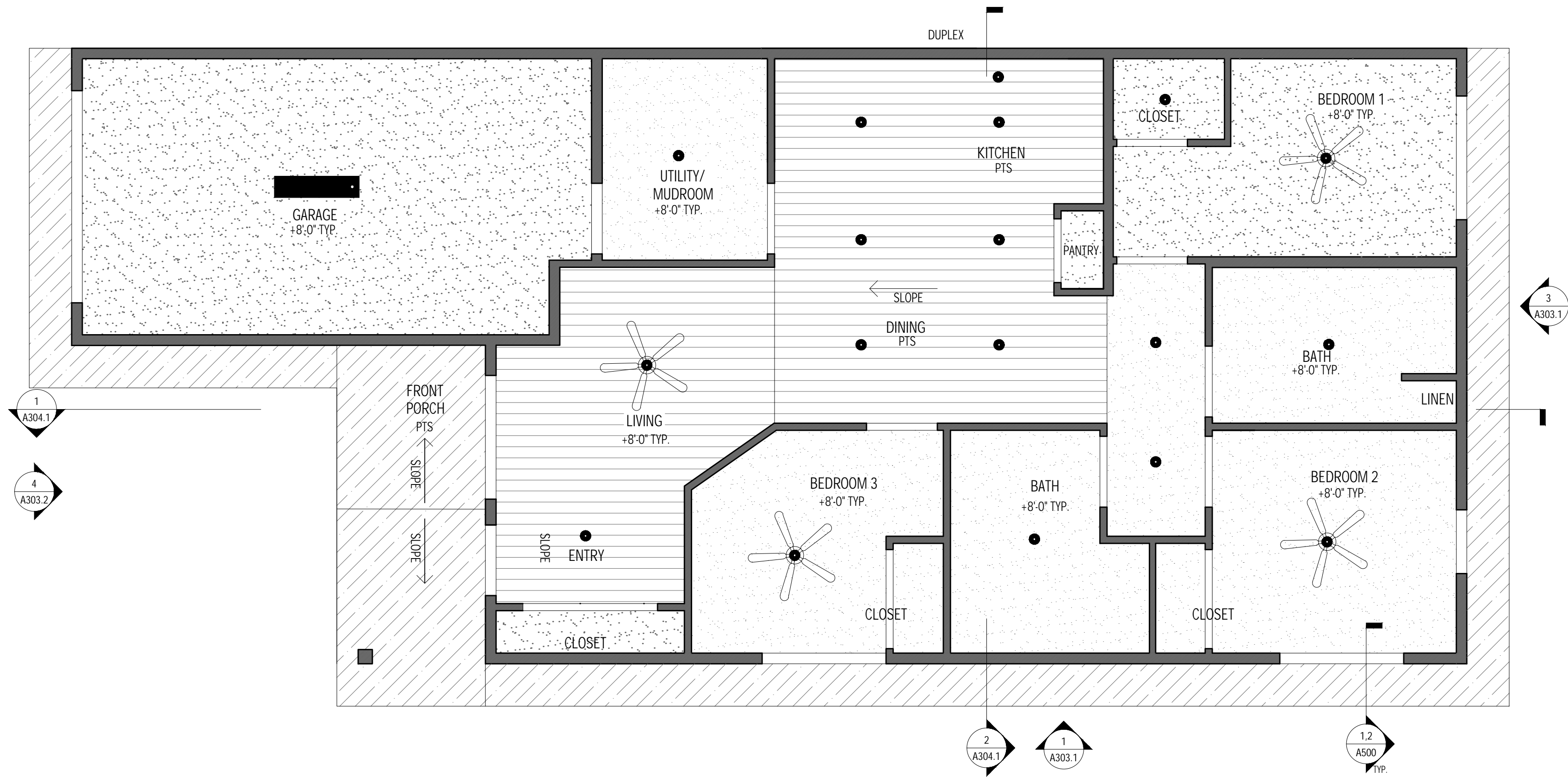
THREE BEDROOM  
TYPE A RCP

GENERAL NOTES (ORGANIZED BY CSI DIVISIONS)

- GENERAL
- SITE WORK
- CONCRETE
- FOUNDATIONS TO BE SLAB ON GRADE OR RAISED CIP. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION AND LOCATIONS
- PRE-CAST SPLASHBLOCK
- VENEER STONE
- CONC. PATIO, BROOM FINISH
- METALS
- GUTTER AND DOWNSPOUT
- 12' METAL ICE BREAK AT ALL DOWNSLOPES
- VENTED ALUMINUM SOFFIT W/INSECT/ FIRE SCREEN
- METAL ROOF OVER UNDERLAYMENT PER LEGEND
- WOOD AND PLASTICS
- ALL WALL DIMENSIONS TO FACE OF STUD OR CENTER OF ROUGH OPENING, U.N.O. SEE ATS LEGEND FOR CLARIFICATIONS
- SEE S SHEETS FOR WALL FRAMING AND TYPES NOT SPECIFICALLY REFERENCED. ALL INTERIOR WALLS TYPE B, U.N.O.
- SEE ATS FOR TYP. WALL TYPES
- ALL PLUMB. & EXTERIOR WALLS SHALL BE 2X6 CONSTRUCTION U.N.O., WALL TYPES A AND C
- COLUMNS PER STRUCTURAL
- FINAL R.O. PER DOOR/W/DW MFR
- ALL DOORS TO BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.
- CABINETS PER ENLARGED PLANS
- COUNTERTOP
- 1 1/2" WOOD HANDRAIL, CLEAR COAT GL. GUARDRAIL PER DETAIL 08/A5 02
- THERMAL AND WATER PROOFING PROTECTION
- INSULATION
- ANY REMOVABLE FORMWORK TO UTILIZE LOW-TOXICITY FORM RELEASE AGENTS
- ALL WATERPROOFING SYSTEMS TO BE WATER BASED
- RIDGE VENT
- TYVEK BUILDING WRAP
- Z FLASHING
- HARDI BOARD SIDING PER LEGEND
- 5/4 4" PRE-FIN. HARDI BOARD TRIM. STANDARD COLOR, TBD
- 5/4 4"PRE- FIN. HARDI BOARD PRE-MADE EXT. CORNER TRIM BOARD. STANDARD COLOR, TBD
- PRE-FINISHED HARDI BOARD FASCIA, STANDARD COLOR, TBD
- UNDERSLAB VAPOR BARRIER
- 5/4 6" PRE-FINISHED HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD
- COMP. ROOF SHINGLES OR TPO MEMBRANE, SEE LEGEND
- DOORS AND WINDOWS
- SEE DOOR AND WINDOW SCHEDULE
- 24"X48" DRYWALL ATTIC ACCESS SET ON CLEAT. EXACT LOCATION TBD IN FIELD AND COORDINATED WITH TRUSS LOCATIONS
- FINISHES
- SEE FINISH SCHEDULE AND SPECIFICATIONS FOR ADD'L INFO
- ALL MATERIALS TO WRAP TO NEAREST INSIDE CORNER OR TO TRANSITION AS SHOWN
- ALL WALL SURFACES IN BATHROOMS, RESTROOMS, LAUNDRY, UTILITY, KITCHEN AND WET LOCATIONS, AREAS IMMEDIATELY ADJACENT TO RANGE TOP AND HOT WATER HEATER TO RECEIVE WATER RESISTANT PURPLE GYP. BD.
- GYP. BOARD
- SPECIALTIES
- PROVIDE (5) TIERS OF 24" DEEP MDF SHELVING. PAINT TO MATCH WALLS, TYP.
- WALL MOUNTED MIRROR ABOVE SINK AND COUNTER
- PROVIDE (1) CHROME TOILET PAPER TOWEL HOLDER PER TOILET/STALL
- PROVIDE (1) SOAP DISPENSER PER SINK.
- GRAB BARS WITH BACKING @ ADA UNITS. PROVIDE BACKING @ UNIVERSAL DESIGN UNITS
- CLEARLY MARKED. ADDRESS NUMBERS
- (2) TOWEL BARS
- TOILET PARTITIONS
- RECESSED MED. CAB. WITH MIRROR
- PROVIDE NEW, 12" WHITE, WIRE SHELF. PROVIDE 1" SATIN NICKEL METAL ROD IN CLOSETS
- MOVEABLE PARTITIONS
- EQUIPMENT (SEE AN4 AND MEP FOR ADDITIONAL INFO)
- ALL APPLIANCES AND FIXTURES TO BE ENERGY STAR RATED PER AN SHEETS AND ADA COMPLIANT AT ADA UNITS PER SITE PLAN
- FREE STANDING OVEN AND RANGE WITH HOOD, SIDE WALL VENT
- DISHWASHER PER PLUMBING
- REFRIGERATOR WITH SELF DEFROSTING FREEZER
- WASHER/DRYER
- FURNISHINGS SHOWN FOR REF. ONLY, NIC
- ACCESSIBLE ELEMENTS (SEE AN1-3 FOR ADDITIONAL INFO AND SITE PLAN FOR APPLICABLE UNITS)
- 30"X42" CLEAR SPACE
- 5" TURNING RADIUS OR 5" "T" SPACE
- 30" WIDE WORKSPACE WITH ADJUSTABLE OR LOWERABLE COUNTERTOP SPACE PER 804.3/AN3
- 18" PUSH AND 12" PULL CLEARANCE AT LATCH SIDE, TYP.
- 15/16. MEP
- SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES
- TOILET/URINAL PER PLUMBING
- SINK PER PLUMBING
- CONDENSER PER PLUMBING
- WATER HEATER PER PLUMBING
- HVAC PER MECH
- TUB AND SURROUND OR ROLL-IN SHOWER AT FIRST FLOOR OF ADA UNITS PER PLUMBING: HOTEL SHOWER WAND AND GRAB BARS AT ADA UNITS, OFFSET CONTROLS @ ADA AND U.D. UNITS
- SEE ELECTRICAL PLANS FOR ADDITIONAL REFERENCE
- DRINKING FOUNTAINS PER PUMBING

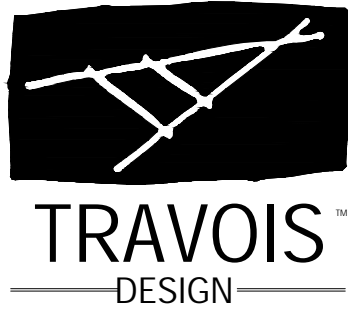
LEGEND

	FLAT CEILING, HEIGHT AFF AS NOTED, FIN. PER SCHED.
	SLOPED CEILING (PTS-PER APPROVED TRUSS SUBMITTAL) FIN.PER SCHED.
	HARD BOARD SOFFIT VENTED WHERE ADJ. TO ATTIC AT OUTRIGGERS



REFLECTED CEILING PLAN 1

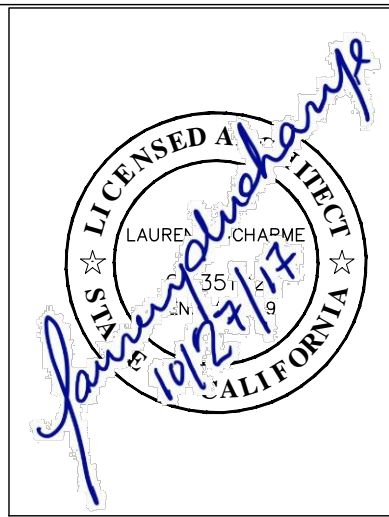
Scale: 1/4" = 1'-0"



Coyote Valley Homes I, LIHTC

Redwood Valley, California

TRAVOIS ARCHITECTURE, PC  
310 W. 19TH TERRACE  
KANSAS CITY, MO 64108  
P 816.994.8970  
F 816.994.8974



REVISION	DATE
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25% CDs	06/30/17
40% CDs	07/28/17
75% CDs	09/22/17
90% CDs	10/16/17
100% CDs	10/27/17

FOR CONSTRUCTION 10/27/17

LOT 17  
LOTS 15,16,,18,19

SHEET

A301.2

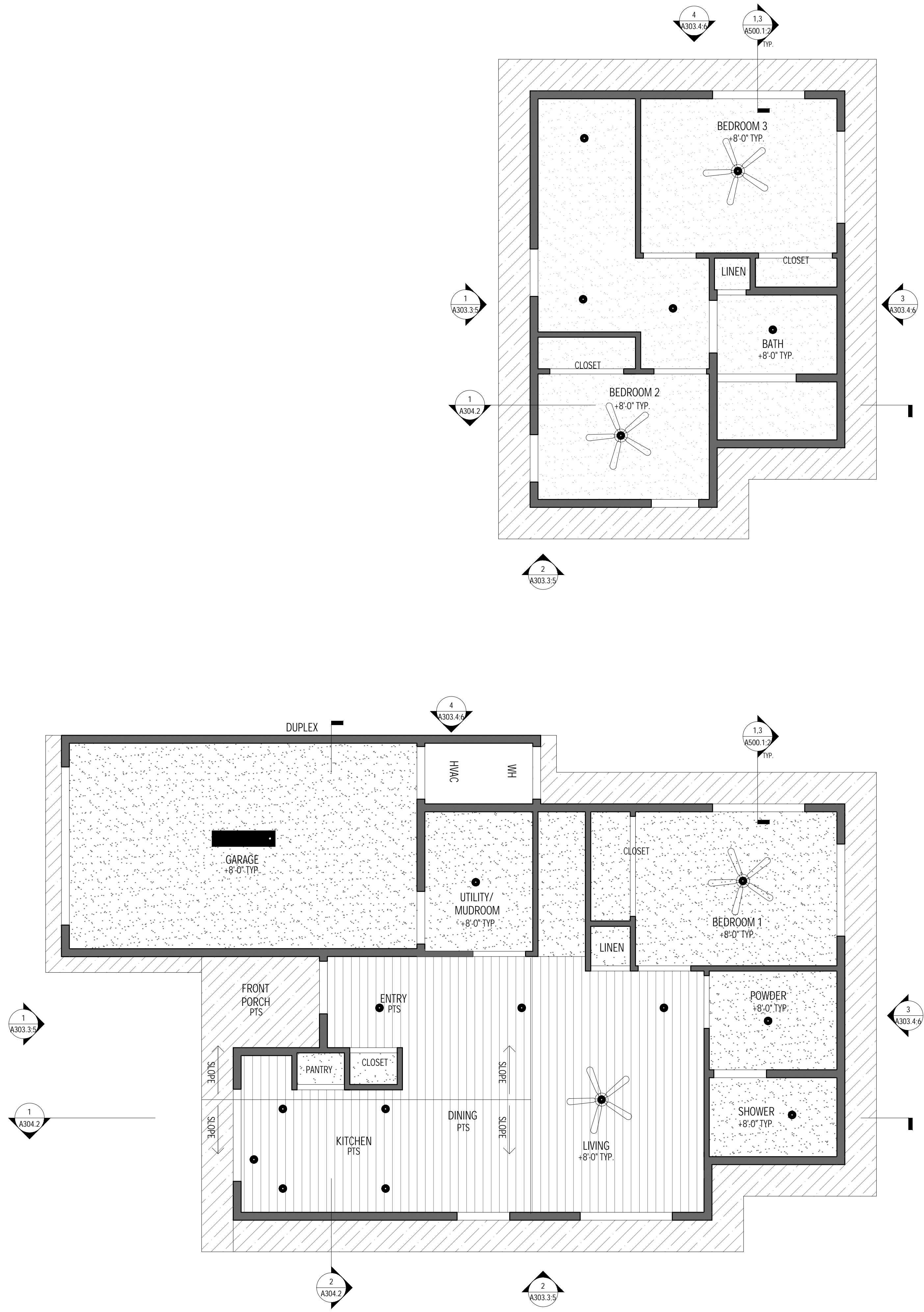
THREE BEDROOM  
TYPE B RCP

GENERAL NOTES (ORGANIZED BY CSI DIVISIONS)

- GENERAL
- 1A. SEE AN4 FOR SPECIFICATIONS AND OTHER DRAWINGS FOR INFO NOT SHOWN
- SITE WORK
- 2A. REFER TO CIVIL FOR BUILDING LOCATIONS AND ADDITIONAL INFORMATION
- CONCRETE
- 3A. FOUNDATIONS TO BE SLAB ON GRADE OR RAISED CIP. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION AND LOCATIONS
- 3B. PRE-CAST SPLASHBLOCK
- 3C. VENEER STONE
- 3D. CONC. PATIO, BROOM FINISH
- METALS
- 5A. GUTTER AND DOWNSPOUT
- 5B. 12" METAL ICE BREAK AT ALL DOWNSLOPES
- 5C. VENTED ALUMINUM SOFFIT W/INSECT/ FIRE SCREEN
- 5D. METAL ROOF OVER UNDERLAYMENT PER LEGEND
- WOOD AND PLASTICS
- 6A. ALL WALL DIMENSIONS TO FACE OF STUD OR CENTER OF ROUGH OPENING, U.N.O. SEE ATS LEGEND FOR CLARIFICATIONS
- 6B. SEE S SHEETS FOR WALL FRAMING AND TYPES NOT SPECIFICALLY REFERENCED. ALL INTERIOR WALLS TYPE B, U.N.O.
- 6C. SEE ATS FOR TYP. WALL TYPES
- 6D. ALL PLUMB. & EXTERIOR WALLS SHALL BE 2X6 CONSTRUCTION U.N.O., WALL TYPES A AND C
- 6E. COLUMNS PER STRUCTURAL
- 6F. FINAL R.O. PER DOOR/WDW MFR
- 6G. ALL DOORS TO BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.
- 6H. CABINETS PER ENLARGED PLANS
- 6J. COUNTERTOP
- 6K. 1 1/2" WOOD HANDRAIL, CLEAR COAT GL. GUARDRAIL PER DETAIL 08/A5 02
- THERMAL AND WATER PROOFING PROTECTION
- 7A. INSULATION
- 7B. ANY REMOVABLE FORMWORK TO UTILIZE LOW-TOXICITY FORM RELEASE AGENTS
- 7C. ALL WATERPROOFING SYSTEMS TO BE WATER BASED
- 7D. RIDGE VENT
- 7E. TYVEK BUILDING WRAP
- 7F. Z FLASHING
- 7G. HARDI BOARD SIDING PER LEGEND
- 7H. 5/4 4" PRE-FIN. HARDI BOARD TRIM. STANDARD COLOR, TBD
- 7J. 5/4 4"PRE- FIN. HARDI BOARD PRE-MADE EXT. CORNER TRIM BOARD. STANDARD COLOR, TBD
- 7K. PRE-FINISHED HARDI BOARD FASCIA, STANDARD COLOR, TBD
- 7L. UNDERSLAB VAPOR BARRIER
- 7M. 5/4 6" PRE-FINISHED HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD
- 7N. COMP. ROOF SHINGLES OR TPO MEMBRANE, SEE LEGEND
- DOORS AND WINDOWS
- 8A. SEE DOOR AND WINDOW SCHEDULE
- 8B. 24"X48" DRYWALL ATTIC ACCESS SET ON CLEAT. EXACT LOCATION TBD IN FIELD AND COORDINATED WITH TRUSS LOCATIONS
- FINISHES
- 9A. SEE FINISH SCHEDULE AND SPECIFICATIONS FOR ADD'L INFO
- 9B. ALL MATERIALS TO WRAP TO NEAREST INSIDE CORNER OR TO TRANSITION AS SHOWN
- 9C. ALL WALL SURFACES IN BATHROOMS, RESTROOMS, LAUNDRY, UTILITY, KITCHEN AND WET LOCATIONS, AREAS IMMEDIATELY ADJACENT TO RANGE TOP AND HOT WATER HEATER TO RECEIVE WATER RESISTANT PURPLE GYP. BD.
- GYP SUM BOARD
- SPECIALTIES
- 10A. PROVIDE (5) TIERS OF 24" DEEP MDF SHELVING. PAINT TO MATCH WALLS, TYP.
- 10B. WALL MOUNTED MIRROR ABOVE SINK AND COUNTER
- 10C. PROVIDE (1) CHROME TOILET PAPER TOWEL HOLDER PER TOILET/STALL
- 10D. PROVIDE (1) SOAP DISPENSER PER SINK
- 10E. GRAB BARS WITH BACKING @ ADA UNITS. PROVIDE BACKING @ UNIVERSAL DESIGN UNITS
- 10F. CLEARLY MARKED, ADDRESS NUMBERS
- 10G. (2) TOWEL BARS
- 10H. TOILET PARTITIONS
- 10I. RECESSED MED. CAB. WITH MIRROR
- 10J. PROVIDE NEW, 12" WHITE, WIRE SHELF. PROVIDE 1" SATIN NICKEL METAL ROD IN CLOSETS
- 10K.MOVEABLE PARTITIONS
- EQUIPMENT (SEE AN4 AND MEP FOR ADDITIONAL INFO)
- 11A. ALL APPLIANCES AND FIXTURES TO BE ENERGY STAR RATED PER AN SHEETS AND ADA COMPLIANT AT ADA UNITS PER SITE PLAN
- 11B. FREE STANDING OVEN AND RANGE WITH HOOD, SIDE WALL VENT
- 11C. DISHWASHER PER PLUMBING
- 11D. REFRIGERATOR WITH SELF DEFROSTING FREEZER
- 11E. WASHER/DRYER
- 11F. FURNISHINGS SHOWN FOR REF. ONLY, NIC.
- ACCESSIBLE ELEMENTS (SEE AN1-3 FOR ADDITIONAL INFO AND SITE PLAN FOR APPLICABLE UNITS)
- 13A. 30"X42" CLEAR SPACE
- 13B. 5" TURNING RADIUS OR 5" "T" SPACE
- 13C. 30" WIDE WORKSPACE WITH ADJUSTABLE OR LOWERABLE COUNTERTOP SPACE PER 804.3/AN3
- 13D. 18" PUSH AND 12" PULL CLEARANCE AT LATCH SIDE, TYP.
- 15/16. MEP
- 15A.SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES
- 15B. TOILET/URINAL PER PLUMBING
- 15C. SINK PER PLUMBING
- 15D. CONDENSER PER PLUMBING
- 15E. WATER HEATER PER PLUMBING
- 15F. HVAC PER MECH
- 15G. TUB AND SURROUND OR ROLL-IN SHOWER AT FIRST FLOOR OF ADA UNITS PER PLUMBING: HOTEL SHOWER WAND AND GRAB BARS AT ADA UNITS, OFFSET CONTROLS @ ADA AND U.D. UNITS
- 15H. SEE ELECTRICAL PLANS FOR ADDITIONAL REFERENCE
- 15I. DRINKING FOUNTAINS PER PUMBING

LEGEND

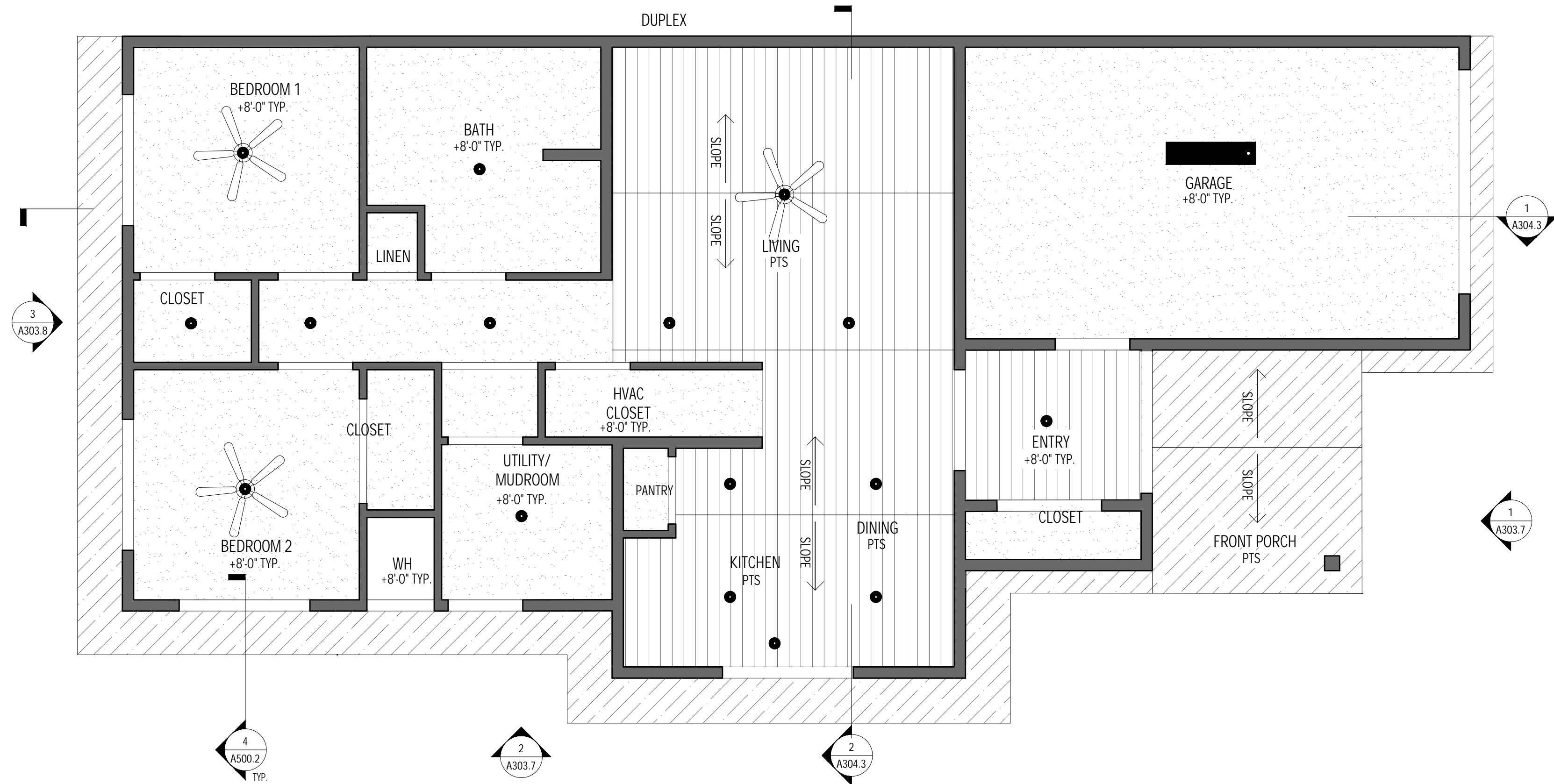
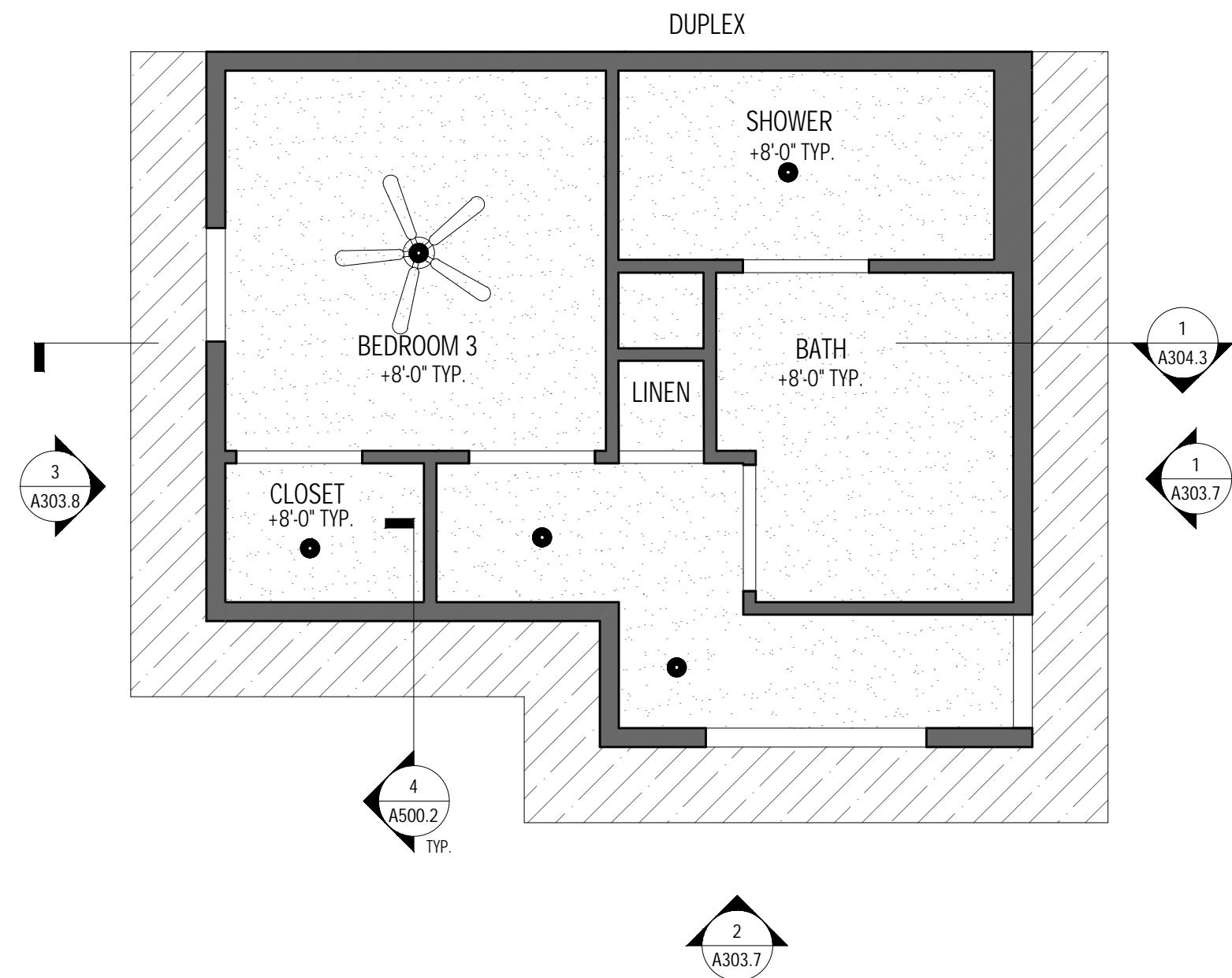
	FLAT CEILING, HEIGHT AFF AS NOTED, FIN. PER SCHED.
	SLOPED CEILING (PTS-PER APPROVED TRUSS SUBMITTAL) FIN.PER SCHED.
	HARD BOARD SOFFIT VENTED WHERE ADJ. TO ATTIC AT OUTRIGGERS



REFLECTED CEILING PLAN

Scale: 1/4" = 1'-0"

1



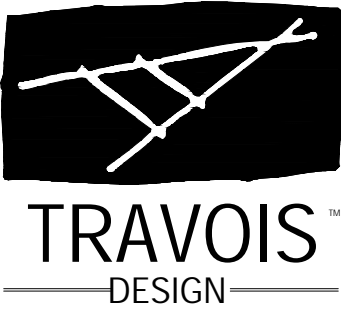
REFLECTED CEILING PLAN 1

Scale: 1/4" = 1'-0"

GENERAL NOTES (ORGANIZED BY CSI DIVISIONS)

1. GENERAL  
1A. SEE AN4 FOR SPECIFICATIONS AND OTHER DRAWINGS FOR INFO NOT SHOWN  
2. SITE WORK  
2A. REFER TO CIVIL FOR BUILDING LOCATIONS AND ADDITIONAL INFORMATION  
3. CONCRETE  
3A. FOUNDATIONS TO BE SLAB ON GRADE OR RAISED CIP. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION AND LOCATIONS  
3B. PRE-CAST SPLASHBLOCK  
3C. VENEER STONE  
3D. CONC. PATIO, BROOM FINISH  
5. METALS  
5A. GUTTER AND DOWNSPOUT  
5B. 12" METAL ICE BREAK AT ALL DOWNSLOPES  
5C. VENTED ALUMINUM SOFFIT W/INSECT/ FIRE SCREEN  
5D. METAL ROOF OVER UNDERLAYMENT PER LEGEND  
6. WOOD AND PLASTICS  
6A. ALL WALL DIMENSIONS TO FACE OF STUD OR CENTER OF ROUGH OPENING, U.N.O. SEE ATS LEGEND FOR CLARIFICATIONS  
6B. SEE S SHEETS FOR WALL FRAMING AND TYPES NOT SPECIFICALLY REFERENCED. ALL INTERIOR WALLS TYPE B, U.N.O.  
6C. SEE ATS FOR TYP. WALL TYPES  
6D. ALL PLUMB. & EXTERIOR WALLS SHALL BE 2X6 CONSTRUCTION U.N.O., WALL TYPES A AND C  
6E. COLUMNS PER STRUCTURAL  
6F. FINAL R.O. PER DOOR/WDW MFR  
6G. ALL DOORS TO BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.  
6H. CABINETS PER ENLARGED PLANS  
6J. COUNTERTOP  
6K. 1 1/2" WOOD HANDRAIL, CLEAR COAT GL. GUARDRAIL PER DETAIL 08/A5 02  
7. THERMAL AND WATER PROOFING PROTECTION  
7A. INSULATION  
7B. ANY REMOVABLE FORMWORK TO UTILIZE LOW-TOXICITY FORM RELEASE AGENTS  
7C. ALL WATERPROOFING SYSTEMS TO BE WATER BASED  
7D. RIDGE VENT  
7E. TYVEK BUILDING WRAP  
7F. Z FLASHING  
7G. HARDI BOARD SIDING PER LEGEND  
7H. 5/4 4" PRE-FIN. HARDI BOARD TRIM. STANDARD COLOR, TBD  
7J. 5/4 4"PRE- FIN. HARDI BOARD PRE-MADE EXT. CORNER TRIM BOARD. STANDARD COLOR, TBD  
7K. PRE-FINISHED HARDI BOARD FASCIA, STANDARD COLOR, TBD  
7L. UNDERSLAB VAPOR BARRIER  
7M. 5/4 6" PRE-FINISHED HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD  
7N. COMP. ROOF SHINGLES OR TPO MEMBRANE, SEE LEGEND  
8. DOORS AND WINDOWS  
8A. SEE DOOR AND WINDOW SCHEDULE  
8B. 24"x48" DRYWALL ATTIC ACCESS SET ON CLEAT. EXACT LOCATION TBD IN FIELD AND COORDINATED WITH TRUSS LOCATIONS  
9. FINISHES  
9A. SEE FINISH SCHEDULE AND SPECIFICATIONS FOR ADD'L INFO  
9B. ALL MATERIALS TO WRAP TO NEAREST INSIDE CORNER OR TO TRANSITION AS SHOWN  
9C. ALL WALL SURFACES IN BATHROOMS, RESTROOMS, LAUNDRY, UTILITY, KITCHEN AND WET LOCATIONS, AREAS IMMEDIATELY ADJACENT TO RANGE TOP AND HOT WATER HEATER TO RECEIVE WATER RESISTANT PURPLE GYP. BD.  
9D. GYPSUM BOARD  
10. SPECIALTIES  
10A. PROVIDE (5) TIERS OF 24" DEEP MDF SHELVING. PAINT TO MATCH WALLS, TYP.  
10B. WALL MOUNTED MIRROR ABOVE SINK AND COUNTER  
10C. PROVIDE (1) CHROME TOILET PAPER TOWEL HOLDER PER TOILET/STALL  
10D. PROVIDE (1) SOAP DISPENSER PER SINK.  
10E. GRAB BARS WITH BACKING @ ADA UNITS. PROVIDE BACKING @ UNIVERSAL DESIGN UNITS  
10F. CLEARLY MARKED, ADDRESS NUMBERS  
10G. (2) TOWEL BARS  
10H. TOILET PARTITIONS  
10I. RECESSED MED. CAB. WITH MIRROR  
10J. PROVIDE NEW, 12" WHITE, WIRE SHELF. PROVIDE 1" SATIN NICKEL METAL ROD IN CLOSETS  
10K.MOVEABLE PARTITIONS  
11.EQUIPMENT (SEE AN4 AND MEP FOR ADDITIONAL INFO)  
11A. ALL APPLIANCES AND FIXTURES TO BE ENERGY STAR RATED PER AN SHEETS AND ADA COMPLIANT AT ADA UNITS PER SITE PLAN  
11B. FREE STANDING OVEN AND RANGE WITH HOOD, SIDE WALL VENT  
11C. DISHWASHER PER PLUMBING  
11D. REFRIGERATOR WITH SELF DEFROSTING FREEZER  
11E. WASHER/DRYER  
11F. FURNISHINGS SHOWN FOR REF. ONLY, NIC  
13. ACCESSIBLE ELEMENTS (SEE AN1-3 FOR ADDITIONAL INFO AND SITE PLAN FOR APPLICABLE UNITS)  
13A. 30"x42" CLEAR SPACE  
13B. 5" TURNING RADIUS OR 5" "T" SPACE  
13C. 30" WIDE WORKSPACE WITH ADJUSTABLE OR LOWERABLE COUNTERTOP SPACE PER 804.3/AN3  
15/16. MEP  
15A.SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES  
15B. TOILET/URINAL PER PLUMBING  
15C. SINK PER PLUMBING  
15D. CONDENSER PER PLUMBING  
15E. WATER HEATER PER PLUMBING  
15F. HVAC PER MECH  
15G. TUB AND SURROUND OR ROLL-IN SHOWER AT FIRST FLOOR OF ADA UNITS PER PLUMBING: HOTEL SHOWER WAND AND GRAB BARS AT ADA UNITS, OFFSET CONTROLS @ ADA AND U.D. UNITS  
15H. SEE ELECTRICAL PLANS FOR ADDITIONAL REFERENCE  
15I. DRINKING FOUNTAINS PER PUMBING
- FLAT CEILING, HEIGHT AFF AS NOTED, FIN. PER SCHED.  
  
SLOPED CEILING (PTS-PER APPROVED TRUSS SUBMITTAL) FIN.PER SCHED.  
  
HARD BOARD SOFFIT VENTED WHERE ADJ. TO ATTIC AT OUTRIGGERS

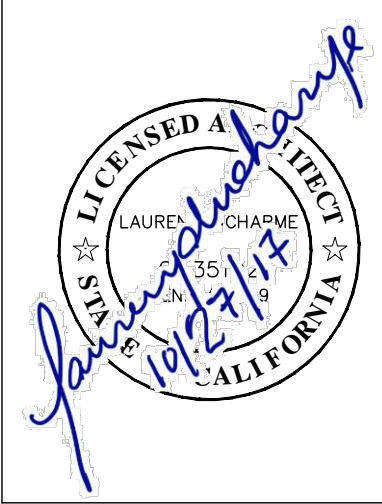
LEGEND



Coyote Valley Homes I, LIHTC

Redwood Valley, California

TRAVOIS ARCHITECTURE, PC  
310 W. 19TH TERRACE  
KANSAS CITY, MO 64108  
P 816.994.8970  
F 816.994.8974



REVISION	DATE
25% CDs	06/30/17
40% CDs	07/28/17
75% CDs	09/22/17
90% CDs	10/16/17
100% CDs	10/27/17

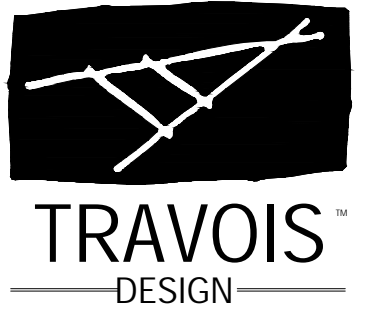
FOR CONSTRUCTION 10/27/17

LOTS 23,24

SHEET

A301.3

THREE BEDROOM  
TYPE C RCP



Coyote Valley Homes I, LIHTC  
Redwood Valley, California

Redwood Valley, California

STRAVOIS ARCHITECTURE, PC  
310 W. 19TH TERRACE  
KANSAS CITY, MO 64108  
P 816.994.8970  
F 816.994.8974



REVISION	DATE
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75% CDs	09/22/17
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FOR CONSTRUCTION 10/27/17

LOTS 14,20  
LOTS 12,13, 27,28

SHEET


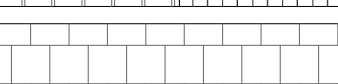

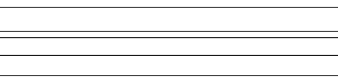
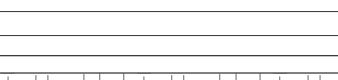

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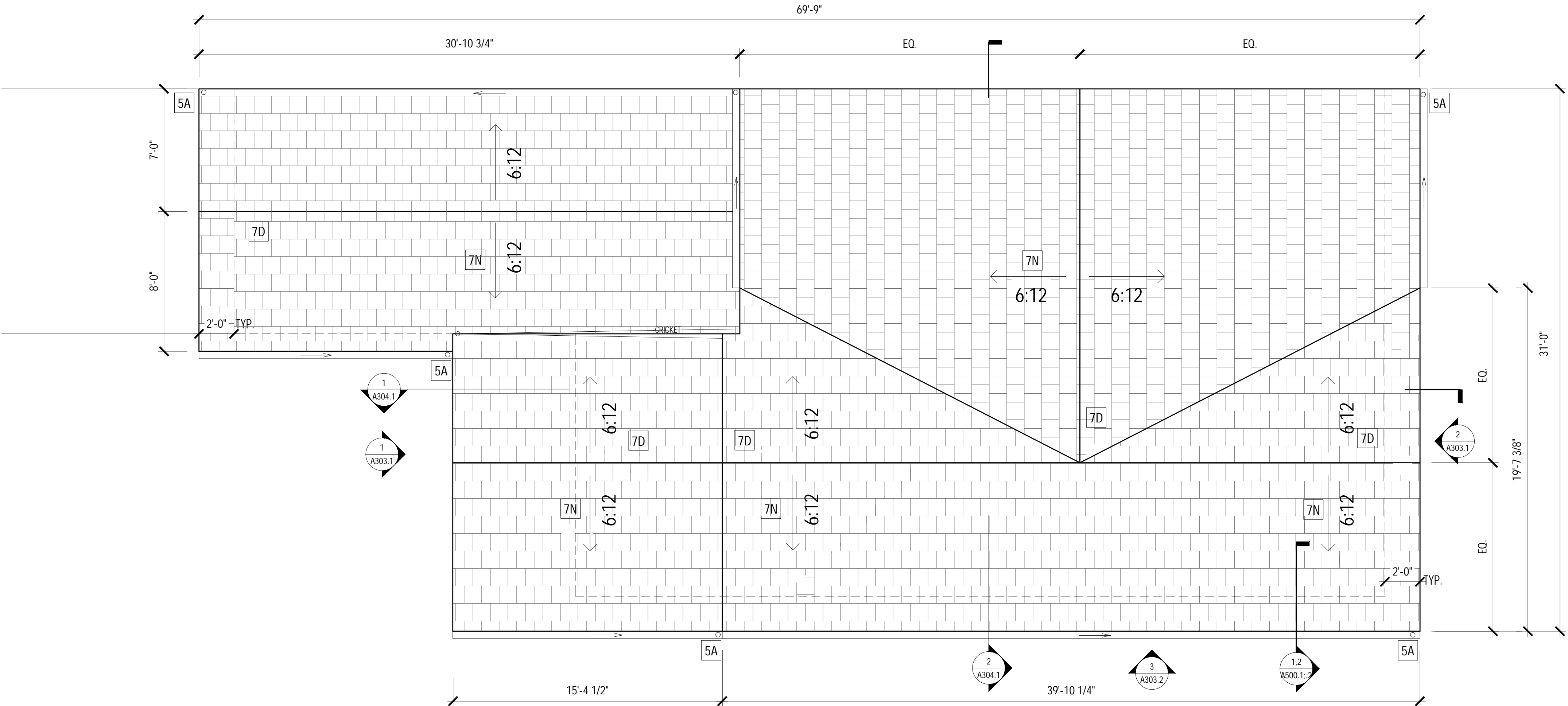
### THREE BEDROOM TYPE A ROOF PLAN

## GENERAL NOTES (ORGANIZED BY CSI DIVISIONS)

- GENERAL
- 1A. SEE AN4 FOR SPECIFICATIONS AND OTHER DRAWINGS FOR INFO NOT SHOWN
2. SITE WORK
- 2A. REFER TO CIVIL FOR FOUNDATION LOCATIONS AND ADDITIONAL INFORMATION
3. CONCRETE
- 3A. FOUNDATIONS TO BE SLAB ON GRADE OR RAISED CIP. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION AND LOCATIONS
- 3B. PRE-CAST SPLASHBLOCK
- 3C. VENEER STONE
- 3D. CONC. PATIO, BROOM FINISH
5. METALS
- 5A. GUTTER AND DOWNSPOUT
- 5B. 12" METAL ICE BREAK AT ALL DOWNSLOPES
- 5C. VENTED ALUMINUM SOFFIT W/INSECT/ FIRE SCREEN
- 5D. METAL ROOF OVER UNDERLAYMENT PER LEGEND
- 5E. METAL PANEL
6. WOOD AND PLASTICS
- 6A. ALL WALL DIMENSIONS TO FACE OF STUD OR CENTER OF ROUGH OPENING, U.N.O. SEE ATS LEGEND FOR CLARIFICATIONS
- 6B. SEE S SHEETS FOR WALL FRAMING AND TYPES NOT SPECIFICALLY REFERENCED. ALL INTERIOR WALLS TYPE B, U.N.O.
- 6C. SEE ATS FOR TYP. WALL TYPES
- 6D. ALL PLUMB. & EXTERIOR WALLS SHALL BE 2X6 CONSTRUCTION U.N.O., WALL TYPES A AND C
- 6E. COLUMNS PER STRUCTURAL
- 6F. FINAL R.O. PER DOOR/WDW MFR
- 6G. ALL DOORS TO BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.
- 6H. CABINETS PER ENLARGED PLANS
- 6J. COUNTERTOP
- 6K. 1 1/2" WOOD HANDRAIL, CLEAR COAT GL. GUARDRAIL PER DETAIL 08/A5 02
7. THERMAL AND WATER PROOFING PROTECTION
- 7A. INSULATION
- 7B. ANY REMOVABLE FORMWORK TO UTILIZE LOW-TOXICITY FORM RELEASE AGENTS
- 7C. ALL WATERPROOFING SYSTEMS TO BE WATER BASED
- 7D. RIDGE VENT
- 7E. TYVEK BUILDING WRAP
- 7F. Z FLASHING
- 7G. HARDI BOARD SIDING PER LEGEND
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- 7J. 5/4 4" PRE-FIN. HARDI BOARD PRE-MADE EXT. CORNER TRIM BOARD. STANDARD COLOR, TBD
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- 7L. UNDERSLAB VAPOR BARRIER
- 7M. 5/4 6" PRE-FINISHED HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD
- 7N. COMP. ROOF SHINGLES OR TPO MEMBRANE, SEE LEGEND
8. DOORS AND WINDOWS
- 8A. SEE DOOR AND WINDOW SCHEDULE
- 8B. 24"X48" DRYWALL ATTIC ACCESS SET ON CLEAT. EXACT LOCATION TBD IN FIELD AND COORDINATED WITH TRUSS LOCATIONS
9. FINISHES
- 9A. SEE FINISH SCHEDULE AND SPECIFICATIONS FOR ADD'L INFO
- 9B. ALL MATERIALS TO WRAP TO NEAREST INSIDE CORNER OR TO TRANSITION AS SHOWN
- 9C. ALL WALL SURFACES IN BATHS, RESTROOMS, LAUNDRY, UTILITY, KITCHEN & WET LOCATIONS, AREAS IMMEDIATELY ADJ. TO RANGE TOP & HOT WATER HEATER TO RECEIVE WATER RESIST. PURPLE GYP. BD.
- 9D. GYPSUM BOARD
10. SPECIALTIES
- 10A. PROVIDE (5) TIERS OF 24" DEEP MDF SHELVING. PAINT TO MATCH WALLS, TYP.
- 10B. WALL MOUNTED MIRROR ABOVE SINK AND COUNTER
- 10C. PROVIDE (1) CHROME TOILET PAPER TOWEL HOLDER PER TOILET/STALL
- 10D. PROVIDE (1) SOAP DISPENSER PER SINK.
- 10E. GRAB BARS WITH BACKING @ ADA UNITS. PROVIDE BACKING @ UNIVERSAL DESIGN UNITS
- 10F. CLEARLY MARKED, ADDRESS NUMBERS
- 10G. (2) TOWEL BARS
- 10H. TOILET PARTITIONS
- 10I. RECESSED MED. CAB. WITH MIRROR
- 10J. PROVIDE NEW, 12" WHITE, WIRE SHELF. PROVIDE 1" SATIN NICKEL METAL ROD IN CLOSETS
- 10K. MOVEABLE PARTITIONS
11. EQUIPMENT (SEE AN4 AND MEP FOR ADDITIONAL INFO)
- 11A. ALL APPLIANCES AND FIXTURES TO BE ENERGY STAR RATED PER AN SHEETS AND ADA COMPLIANT AT ADA UNITS PER SITE PLAN
- 11B. FREE STANDING OVEN AND RANGE WITH HOOD, SIDE WALL VENT
- 11C. DISHWASHER PER PLUMBING
- 11D. REFRIGERATOR WITH SELF DEFROSTING FREEZER
- 11E. WASHER/DRYER
- 11F. FURNISHINGS SHOWN FOR REF. ONLY, NIC
13. ACCESSIBLE ELEMENTS (SEE AN1-3 FOR ADDITIONAL INFO AND SITE PLAN FOR APPLICABLE UNITS)
- 13A. 30"X42" CLEAR SPACE
- 13B. 5" TURNING RADIUS OR 5' "T" SPACE
- 13C. 30" WIDE WORKSPACE WITH ADJUSTABLE OR LOWERABLE COUNTERTOP SPACE PER 804.3/AN3
- 13D. 18" PUSH AND 12" PULL CLEARANCE AT LATCH SIDE, TYP.
- 13E. REMOVEABLE BASE CABINETS PER 804.3/AN3. CONTINUE FLOORING TO BACK WALL
- 15/16. MEP
- 15A. SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES
- 15B. TOILET/URINAL PER PLUMBING
- 15C. SINK PER PLUMBING
- 15D. CONDENSER PER PLUMBING
- 15E. WATER HEATER PER PLUMBING
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- 15G. TUB AND SURROUND OR ROLL-IN SHOWER AT FIRST FLOOR OF ADA UNITS PER PLUMBING: HOTEL SHOWER WAND AND GRAB BARS AT ADA UNITS, OFFSET CONTROLS @ ADA AND U.D. UNITS
- 15H. SEE ELECTRICAL PLANS FOR ADDITIONAL REFERENCE
- 15I. DRINKING FOUNTAINS PER PLUMBING

## LEGEND

- |   |   |
|---|---|
|  | METAL ROOFING/SIDING. FACTORY FINISH FROM STANDARD COLORS, TBD BY OWNER               |
|  | COMPOSITION ROOF, STANDARD COLORS, TBD BY OWNER                                       |
|  | HARDI BOARD 4" AND 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER           |
|  | HARDI BOARD, 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER                 |
|  | HARDI BOARD CEDAR SHAKES, RANDOM EDGE DOWN, STANDARD MFR. COLORS 1 AND 2 TBD BY OWNER |
|  | CORONADO VILLA STONE VENEER COLOR TBD BY OWNER  |



# ROOF PLAN

Scale:  $1/4" = 1'-0"$

1



FOR CONSTRUCTION 10/27/17

SHEET

THREE BEDROOM  
TYPE B ROOF PLAN

METAL ROOFING/SIDING. FACTORY  
FINISH FROM STANDARD COLORS, TBD  
BY OWNER

COMPOSITION ROOF, STANDARD  
COLORS, TBD BY OWNER

HARDI BOARD 4 AND 8" LAP SIDING,  
FACTORY FINISH, COLORS 1 & 2 TBD B  
OWNER

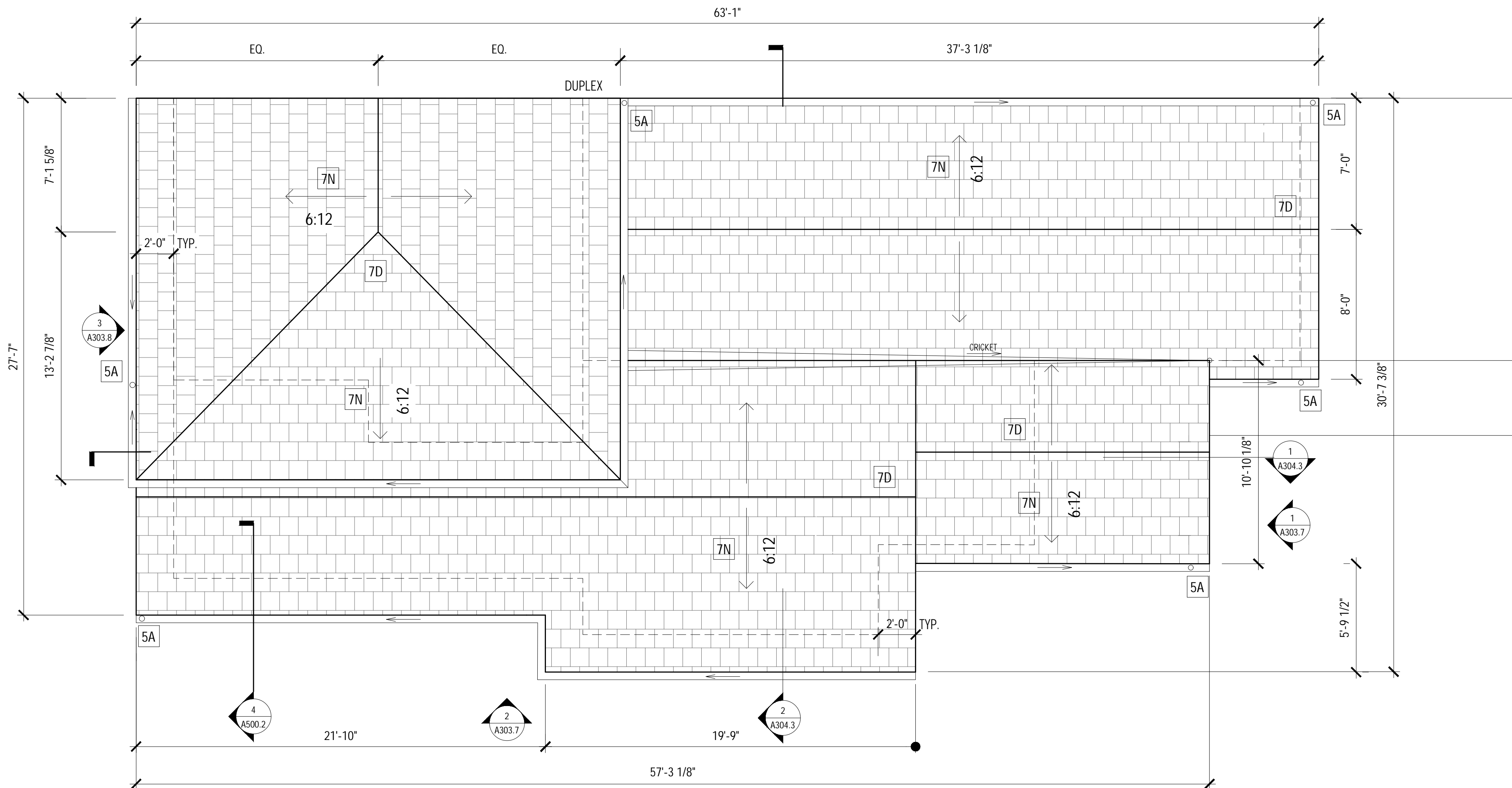
HARDI BOARD, 8" LAP SIDING, FACTOR  
FINISH, COLORS 1 & 2 TBD BY OWNER

HARDI BOARD CEDAR SHAKES, RAND  
EDGE DOWN, STANDARD MFR. COLOR  
AND 2 TBD BY OWNER

CORONADO VILLA STONE VENEER  
COLOR TBD BY OWNER

Scale: 1/4" = 1'-0"

1



## ROOF PLAN 1

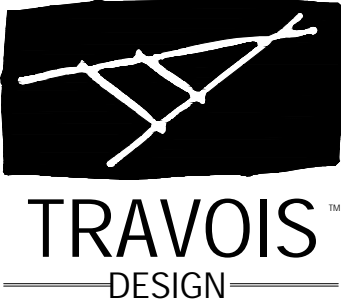
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- SITE WORK
- 2A. REFER TO CIVIL FOR BUILDING LOCATIONS AND ADDITIONAL INFORMATION
- CONCRETE
- 3A. FOUNDATIONS TO BE SLAB ON GRADE OR RAISED CIP. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION AND LOCATIONS
- 3B. PRE-CAST SPLASHBLOCK
- 3C. VENEER STONE
- 3D. CONC. PATIO, BROOM FINISH
- METALS
- 5A. GUTTER AND DOWNSPOUT
- 5B. 12" METAL ICE BREAK AT ALL DOWNSLOPES
- 5C. VENTED ALUMINUM SOFFIT W/INSECT/ FIRE SCREEN
- 5D. METAL ROOF OVER UNDERLAYMENT PER LEGEND
- 5E. METAL PANEL
6. WOOD AND PLASTICS
- 6A. ALL WALL DIMENSIONS TO FACE OF STUD OR CENTER OF ROUGH OPENING, U.N.O. SEE ATS LEGEND FOR CLARIFICATIONS
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- 6C. SEE ATS FOR TYP. WALL TYPES
- 6D. ALL PLUMB. & EXTERIOR WALLS SHALL BE 2X6 CONSTRUCTION U.N.O., WALL TYPES A AND C
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- 6F. FINAL R.O. PER DOOR/WDW MFR
- 6G. ALL DOORS TO BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.
- 6H. CABINETS PER ENLARGED PLANS
- 6J. COUNTERTOP
- 6K. 1 1/2" WOOD HANDRAIL, CLEAR COAT GL. GUARDRAIL PER DETAIL 08/A5 02
7. THERMAL AND WATER PROOFING PROTECTION
- 7A. INSULATION
- 7B. ANY REMOVABLE FORMWORK TO UTILIZE LOW-TOXICITY FORM RELEASE AGENTS
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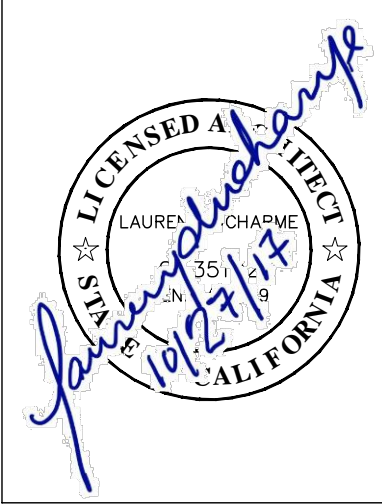
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## Coyote Valley Homes I, LIHTC

Redwood Valley, California

TRAVOIS ARCHITECTURE, PC  
310 W. 19TH TERRACE  
KANSAS CITY, MO 64108  
P 816.994.8970  
F 816.994.8974



REVISION	DATE
----------	------

25% CDs	06/30/17
40% CDs	07/28/17
75% CDs	09/22/17
90% CDs	10/16/17
100% CDs	10/27/17

FOR CONSTRUCTION 10/27/17

LOTS 23,24

SHEET

# A302.3

THREE BEDROOM  
TYPE C ROOF PLAN



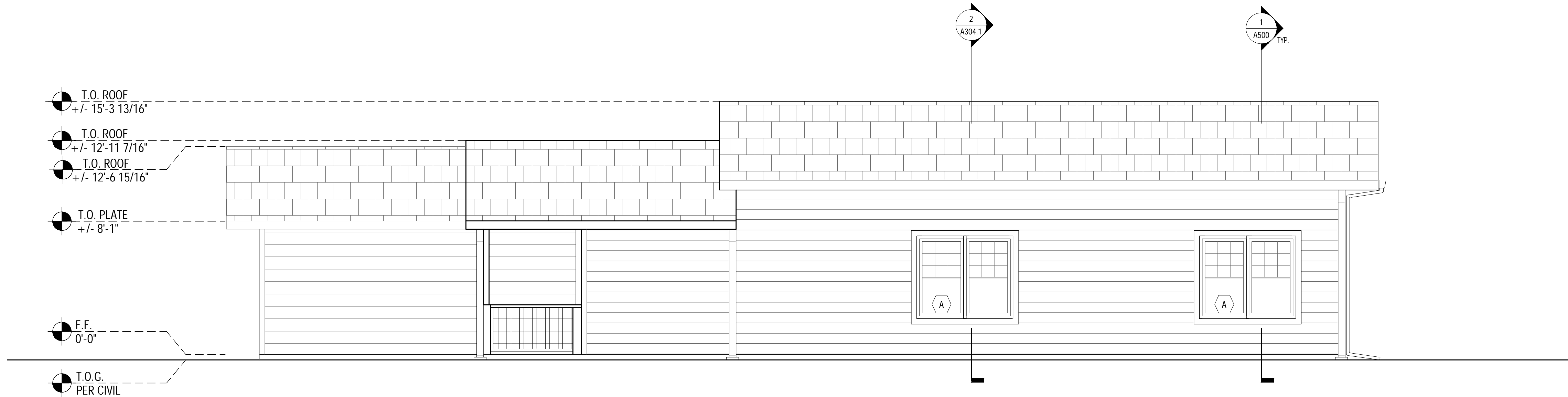
FRONT ELEVATION 1

Scale: 1/4" = 1'-0"



REAR ELEVATION 2

Scale: 1/4" = 1'-0"



SIDE ELEVATION 3

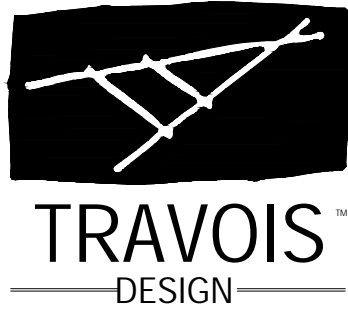
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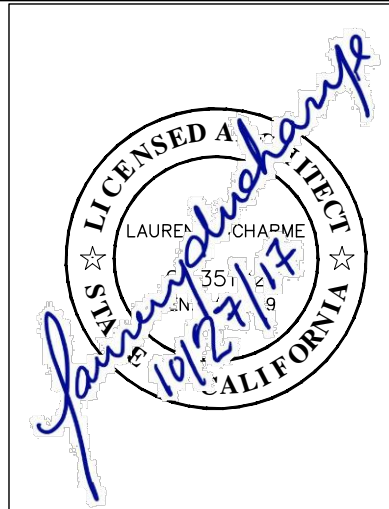
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REVISION DATE

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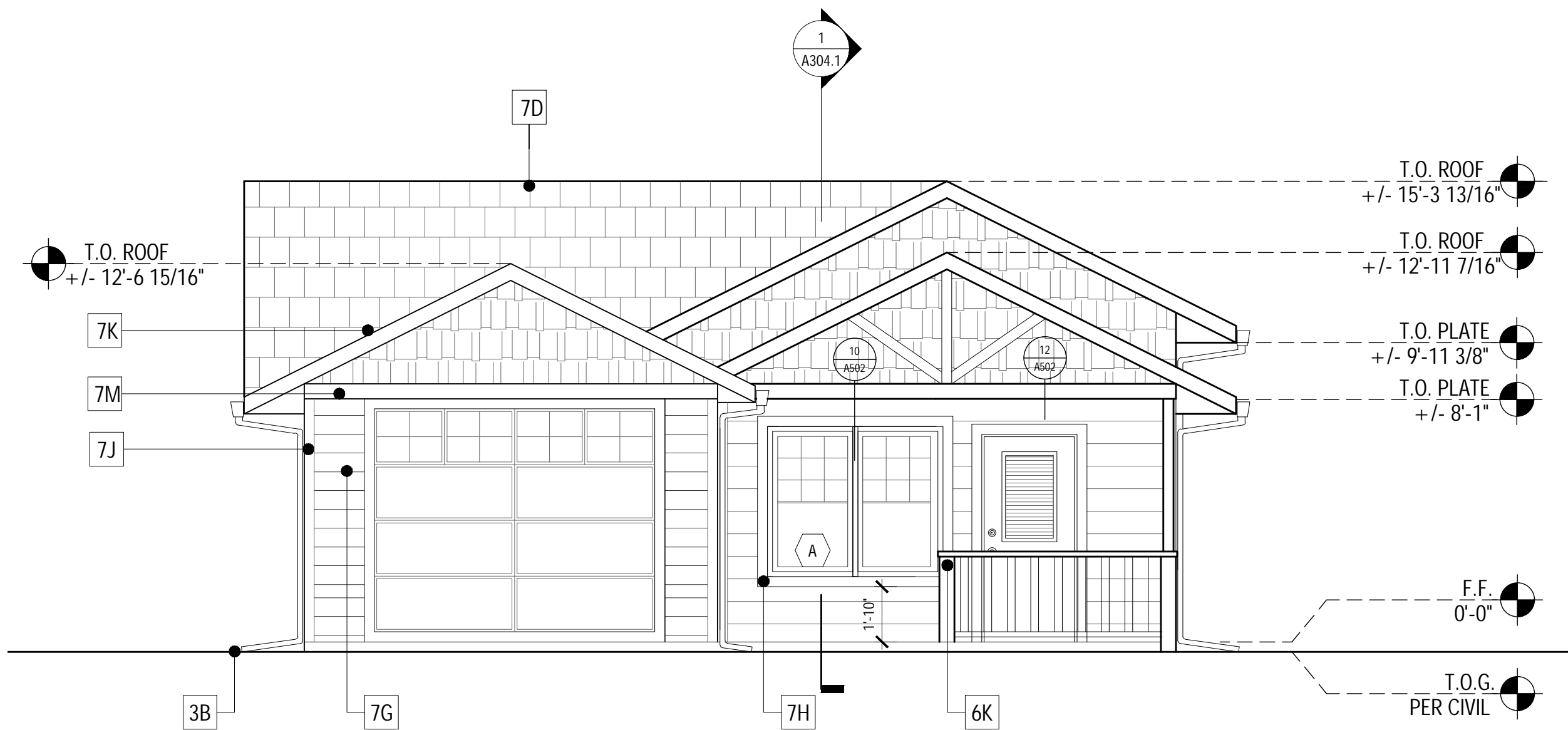
FOR CONSTRUCTION 10/27/17

LOTS 12,13,27,28

SHEET

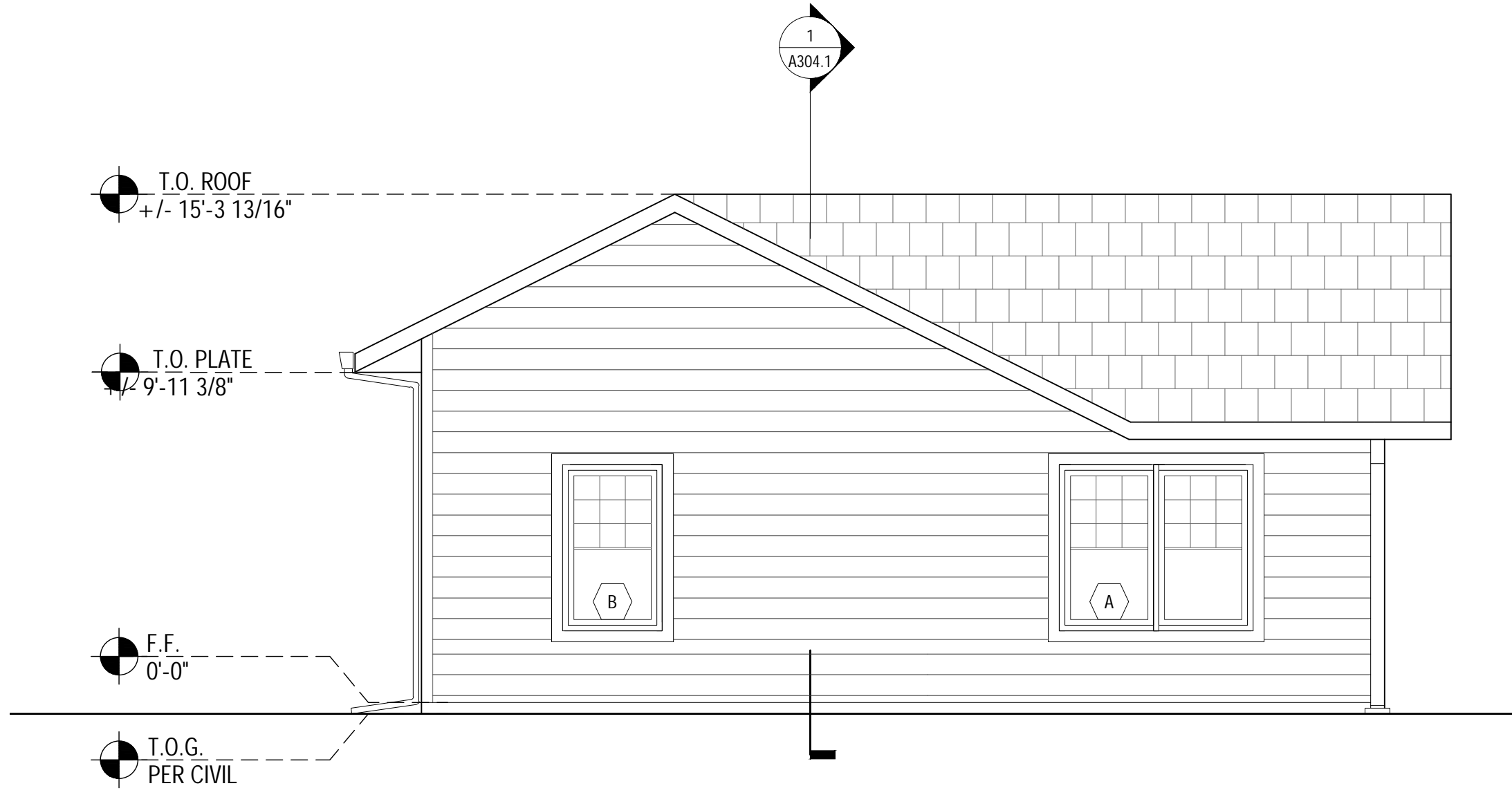
A303.1

THREE BEDROOM TYPE A  
DUPLEX ELEVATIONS



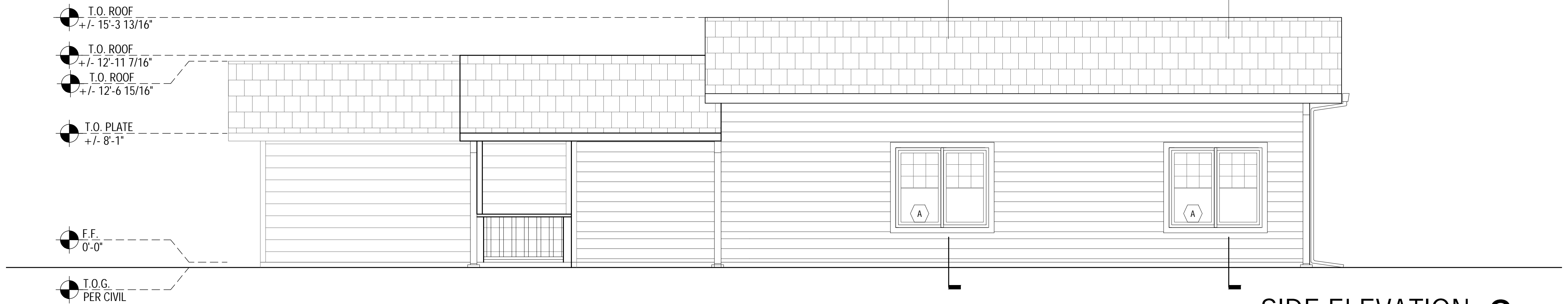
FRONT ELEVATION 1

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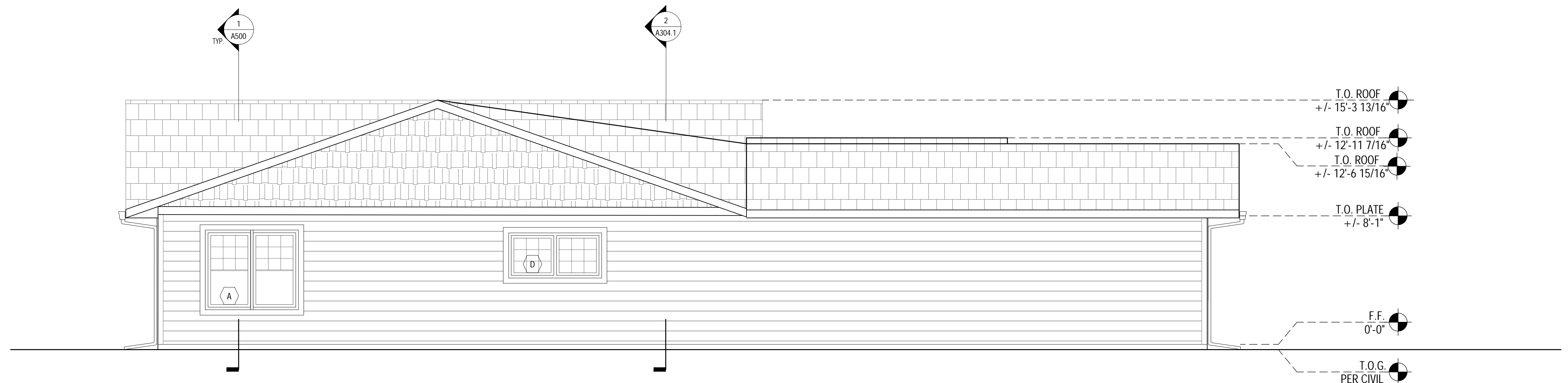
REAR ELEVATION 2

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SIDE ELEVATION 3

Scale: 1/4" = 1'-0"



SIDE ELEVATION 4

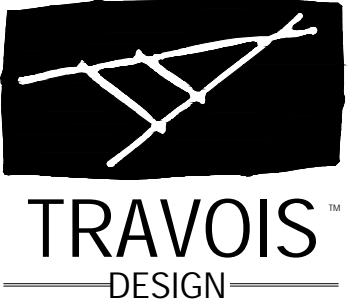
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- 9D. GYPSUM BOARD
- SPECIALTIES
- 10A. PROVIDE (5) TIERS OF 24" DEEP MDF SHELVING. PAINT TO MATCH WALLS, TYP.
- 10B. WALL MOUNTED MIRROR ABOVE SINK AND COUNTER
- 10C. PROVIDE (1) CHROME TOILET PAPER TOWEL HOLDER PER TOILET/STALL
- 10D. PROVIDE (1) SOAP DISPENSER PER SINK
- 10E. GRAB BARS WITH BACKING @ ADA UNITS. PROVIDE BACKING @ UNIVERSAL DESIGN UNITS
- 10F. CLEARLY MARKED. ADDRESS NUMBERS
- 10G. (2) TOWEL BARS
- 10H. TOILET PARTITIONS
- 10I. RECESSED MED. CAB. WITH MIRROR
- 10J. PROVIDE NEW, 12" WHITE, WIRE SHELF. PROVIDE 1" SATIN NICKEL METAL ROD IN CLOSETS
- 10K. MOVEABLE PARTITIONS
- EQUIPMENT (SEE AN4 AND MEP FOR ADDITIONAL INFO)
- 11A. ALL APPLIANCES AND FIXTURES TO BE ENERGY STAR RATED PER AN SHEETS AND ADA COMPLIANT AT ADA UNITS PER SITE PLAN
- 11B. FREE. STANDING OVEN AND RANGE WITH HOOD, SIDE WALL VENT
- 11C. DISHWASHER PER PLUMBING
- 11D. REFRIGERATOR WITH SELF DEFROSTING FREEZER
- 11E. WASHER/DRYER
- 11F. FURNISHINGS SHOWN FOR REF. ONLY, NIC
- ACCESSIBLE ELEMENTS (SEE AN1-3 FOR ADDITIONAL INFO AND SITE PLAN FOR APPLICABLE UNITS)
- 13A. 30"X42" CLEAR SPACE
- 13B. 5' TURNING RADIUS OR 5' "T" SPACE
- 13C. 30" WIDE WORKSPACE WITH ADJUSTABLE OR LOWERABLE COUNTERTOP SPACE PER 804.3/AN3
- 13D. 18" PUSH AND 12" PULL CLEARANCE AT LATCH SIDE, TYP.
- 13E. REMOVEABLE BASE CABINETS PER 804.3/AN3. CONTINUE FLOORING TO BACK WALL
- 15/16. MEP
- 15A. SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES
- 15B. TOILET/URINAL PER PLUMBING
- 15C. SINK PER PLUMBING
- 15D. CONDENSER PER PLUMBING
- 15E. WATER HEATER PER PLUMBING
- 15F. HVAC PER MECH
- 15G. TUB AND SURROUND OR ROLL-IN SHOWER AT FIRST FLOOR OF ADA UNITS PER PLUMBING: HOTEL SHOWER WAND AND GRAB BARS AT ADA UNITS. OFFSET CONTROLS @ ADA AND U.D. UNITS
- 15H. SEE ELECTRICAL PLANS FOR ADDITIONAL REFERENCE
- 15I. DRINKING FOUNTAINS PER PUMBING

LEGEND

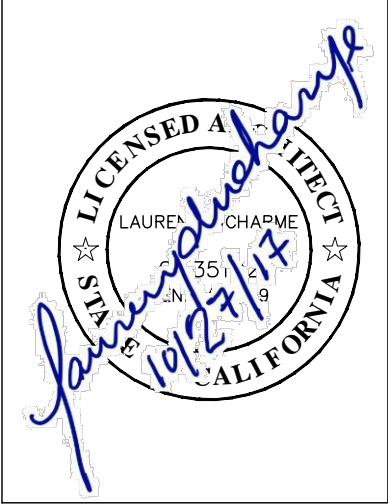
- METAL ROOFING/SIDING. FACTORY FINISH FROM STANDARD COLORS, TBD BY OWNER
- COMPOSITION ROOF. STANDARD COLORS, TBD BY OWNER
- HARDI BOARD4 AND 8" LAP SIDING. FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER
- HARDI BOARD, 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER
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REVISION	DATE
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40% CDs	07/28/17
75% CDs	09/22/17
90% CDs	10/16/17
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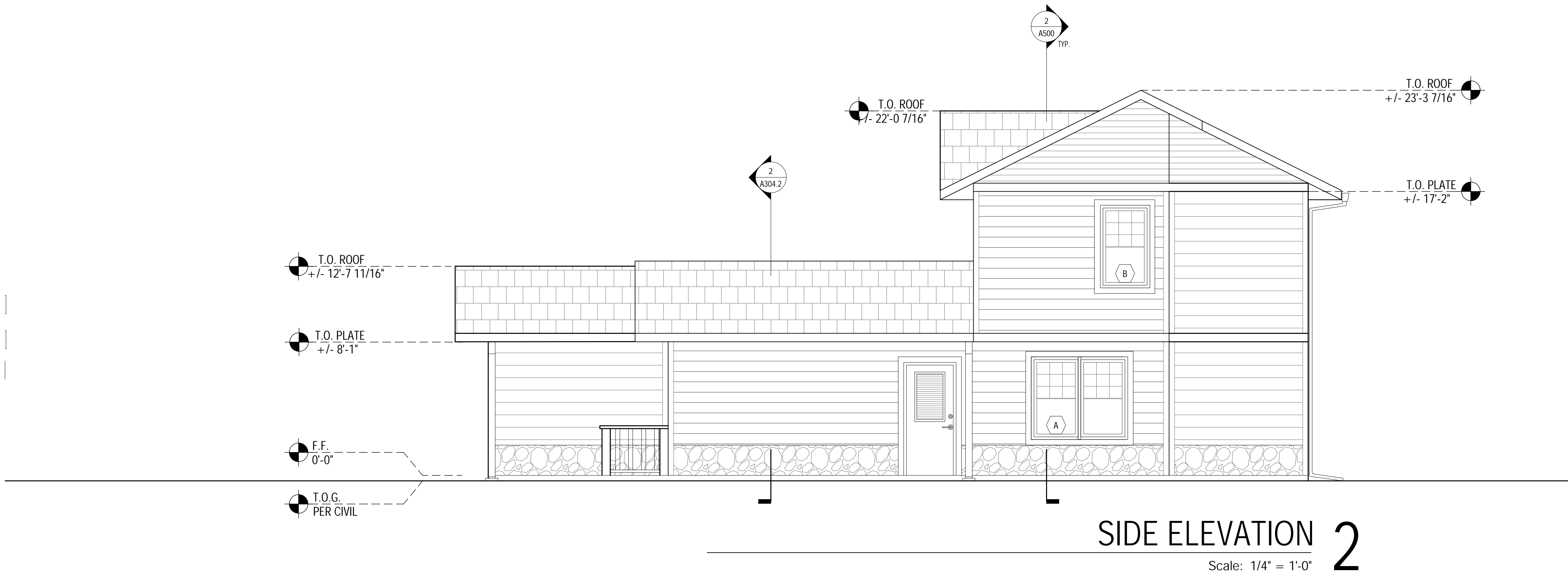
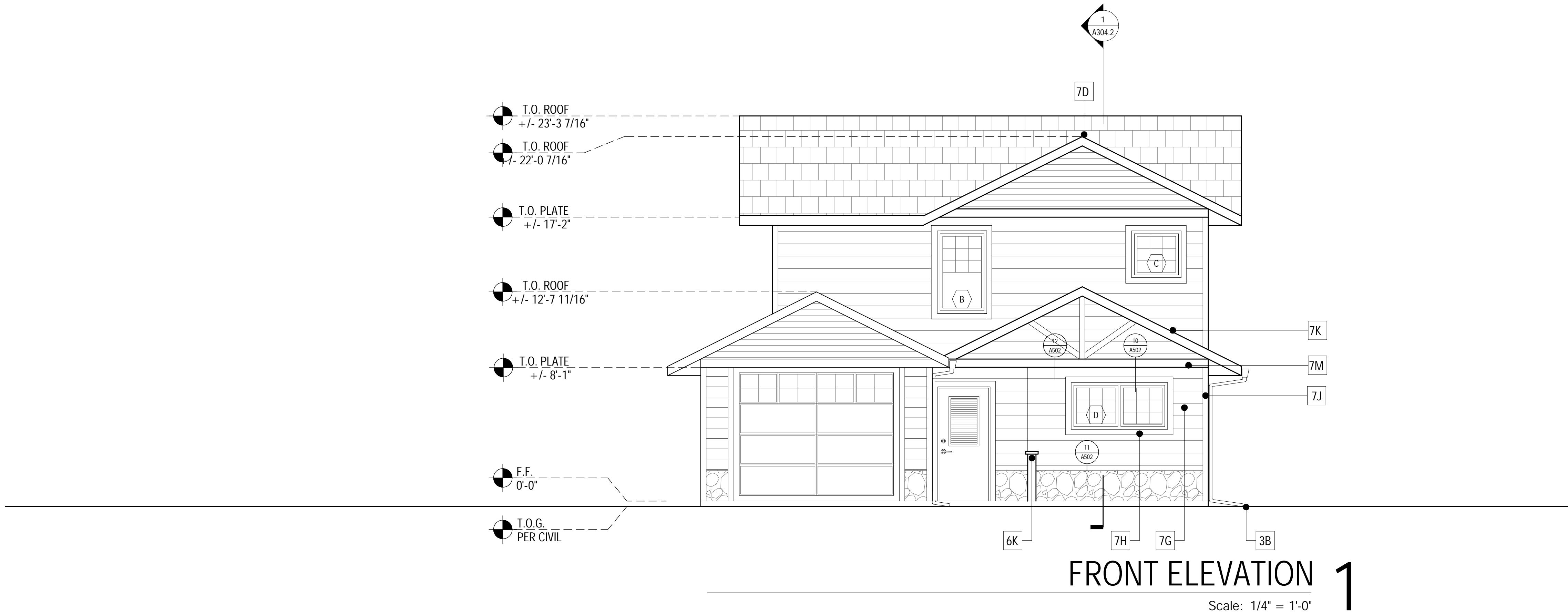
FOR CONSTRUCTION 10/27/17

LOTS 14,20

SHEET

A303.2

THREE BEDROOM TYPE A  
SINGLE FAMILY ELEVATIONS

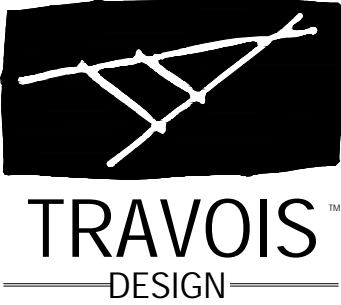


## GENERAL NOTES (ORGANIZED BY CSI DIVISIONS)

- GENERAL
- 1A. SEE AN4 FOR SPECIFICATIONS AND OTHER DRAWINGS FOR INFO NOT SHOWN
- SITE WORK
- 2A. REFER TO CIVIL FOR BUILDING LOCATIONS AND ADDITIONAL INFORMATION
- CONCRETE
- 3A. FOUNDATIONS TO BE SLAB ON GRADE OR RAISED CIP. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION AND LOCATIONS
- 3B. PRE-CAST SPLASHBLOCK
- 3C. VENEER STONE
- 3D. CONC. PATIO, BROOM FINISH
- METALS
- 5A. GUTTER AND DOWNSPOUT
- 5B. 12" METAL ICE BREAK AT ALL DOWNSLOPES
- 5C. VENTED ALUMINUM SOFFIT W/INSECT/ FIRE SCREEN
- 5D. METAL ROOF OVER UNDERLAYMENT PER LEGEND
- 5E. METAL PANEL
6. WOOD AND PLASTICS
- 6A. ALL WALL DIMENSIONS TO FACE OF STUD OR CENTER OF ROUGH OPENING, U.N.O. SEE ATS LEGEND FOR CLARIFICATIONS
- 6B. SEE S SHEETS FOR WALL FRAMING AND TYPES NOT SPECIFICALLY REFERENCED. ALL INTERIOR WALLS TYPE B, U.N.O.
- 6C. SEE ATS FOR TYP. WALL TYPES
- 6D. ALL PLUMB. & EXTERIOR WALLS SHALL BE 2X6 CONSTRUCTION U.N.O., WALL TYPES A AND C
- 6E. COLUMNS PER STRUCTURAL
- 6F. FINAL R.O. PER DOOR/WDW MFR
- 6G. ALL DOORS TO BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.
- 6H. CABINETS PER ENLARGED PLANS
- 6J. COUNTERTOP
- 6K. 1 1/2" WOOD HANDRAIL, CLEAR COAT GL. GUARDRAIL PER DETAIL 08/A5 02
7. THERMAL AND WATER PROOFING PROTECTION
- 7A. INSULATION
- 7B. ANY REMOVABLE FORMWORK TO UTILIZE LOW-TOXICITY FORM RELEASE AGENTS
- 7C. ALL WATERPROOFING SYSTEMS TO BE WATER BASED
- 7D. RIDGE VENT
- 7E. TYVEK BUILDING WRAP
- 7F. Z FLASHING
- 7G. HARDI BOARD SIDING PER LEGEND
- 7H. 5/4 4" PRE-FIN. HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD
- 7J. 5/4 4" PRE-FIN. HARDI BOARD PRE-MADE EXT. CORNER TRIM BOARD. STANDARD COLOR, TBD
- 7K. PRE-FINISHED HARDI BOARD FASCIA, STANDARD COLOR, TBD
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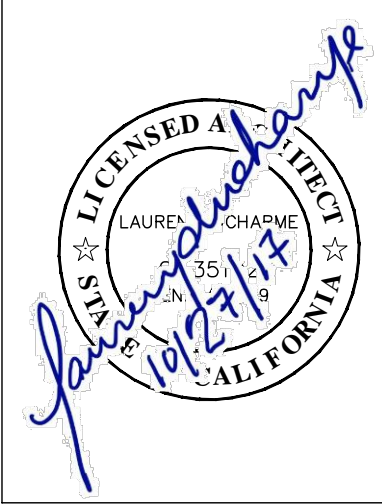
## LEGEND

- |  |   |
|--|---|
|  | METAL ROOFING/SIDING. FACTORY FINISH FROM STANDARD COLORS, TBD BY OWNER               |
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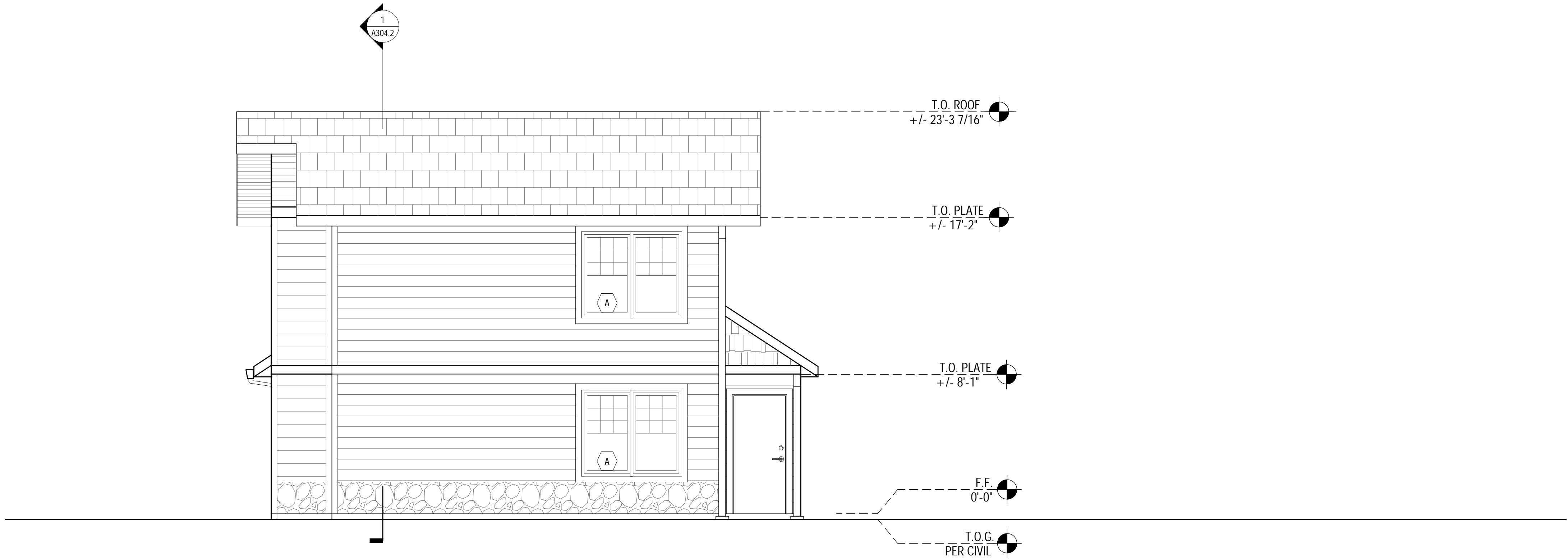
FOR CONSTRUCTION 10/27/17

LOT 17

SHEET

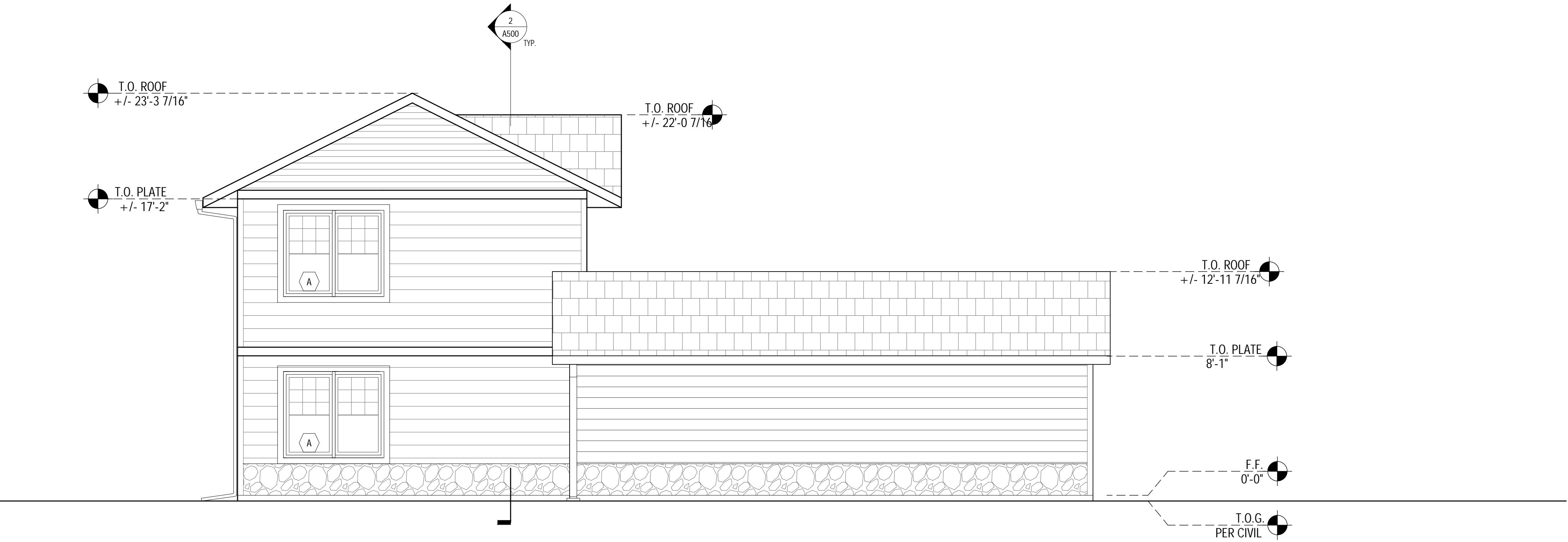
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THREE BEDROOM TYPE B  
ELEVATIONS



REAR ELEVATION 3

Scale: 1/4" = 1'-0"




SIDE ELEVATION 4

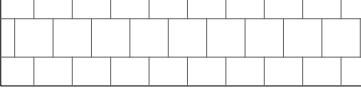
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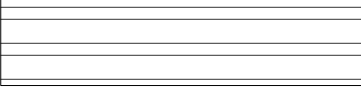
GENERAL NOTES (ORGANIZED BY CSI DIVISIONS)

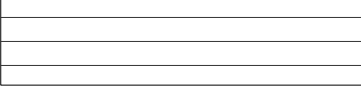
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LEGEND


- 

METAL ROOFING/SIDING. FACTORY FINISH FROM STANDARD COLORS, TBD BY OWNER
- 

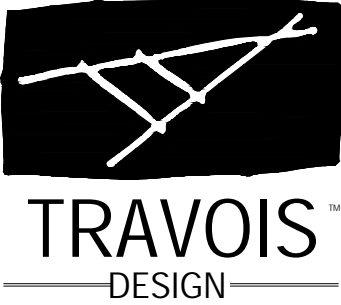
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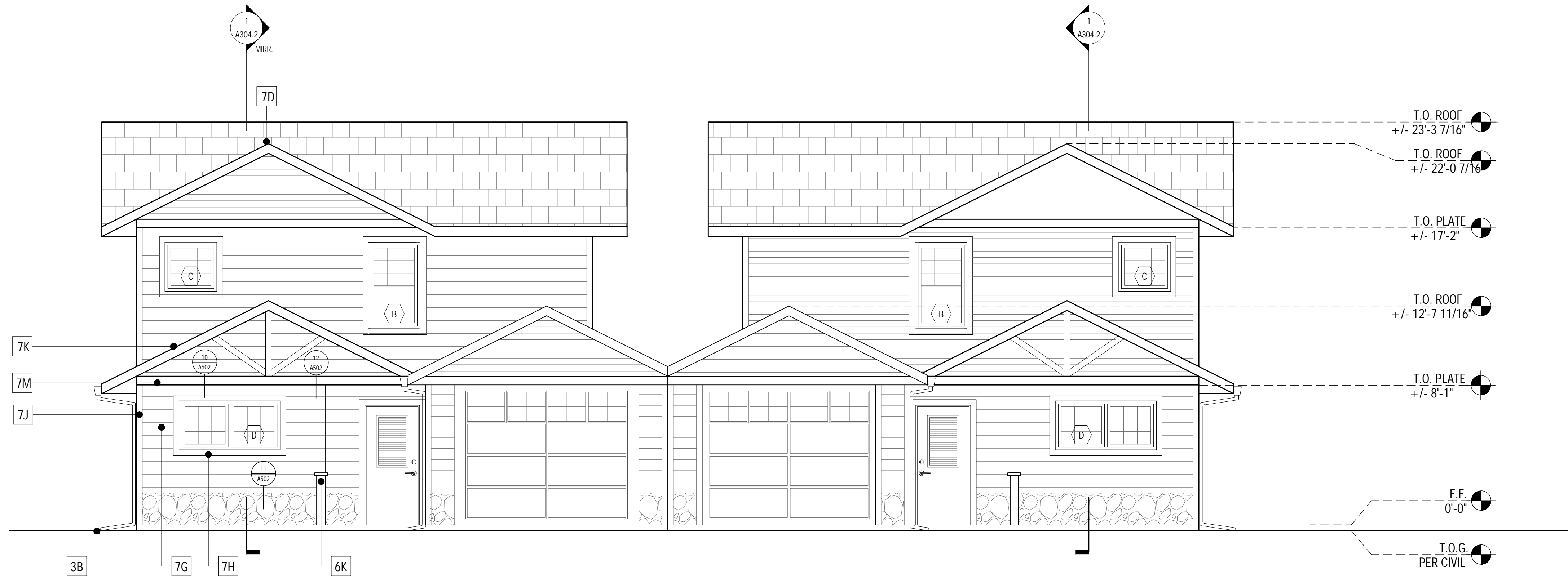
FOR CONSTRUCTION 10/27/17

LOT 17

SHEET

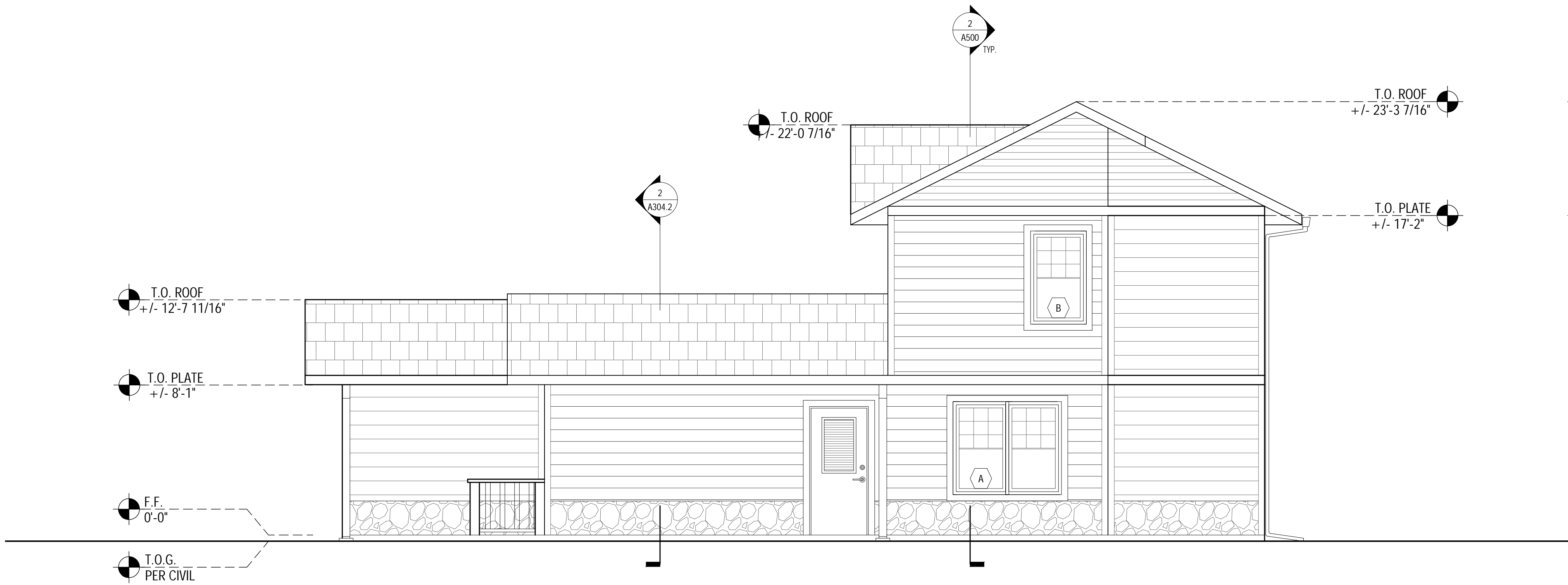
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THREE BEDROOM TYPE B  
ELEVATIONS



FRONT ELEVATION 1

Scale: 1/4" = 1'-0"



SIDE ELEVATION 2

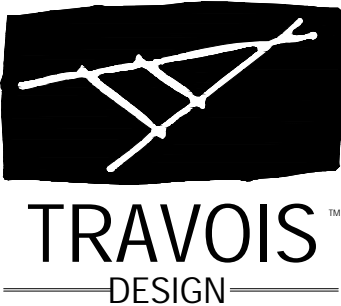
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10A. PROVIDE (5) TIERS OF 24" DEEP MDF SHELVING. PAINT TO MATCH WALLS, TYP.  
10B. WALL MOUNTED MIRROR ABOVE SINK AND COUNTER  
10C. PROVIDE (1) CHROME TOILET PAPER TOWEL HOLDER PER TOILET/STALL  
10D. PROVIDE (1) SOAP DISPENSER PER SINK.  
10E. GRAB BARS WITH BACKING @ ADA UNITS. PROVIDE BACKING @ UNIVERSAL DESIGN UNITS  
10F. CLEARLY MARKED, ADDRESS NUMBERS  
10G. (2) TOWEL BARS  
10H. TOILET PARTITIONS  
10I. RECESSED MED. CAB. WITH MIRROR  
10J. PROVIDE NEW, 12" WHITE, WIRE SHELF. PROVIDE 1" SATIN NICKEL METAL ROD IN CLOSETS  
10K. MOVEABLE PARTITIONS  
11. EQUIPMENT (SEE AN4 AND MEP FOR ADDITIONAL INFO)  
11A. ALL APPLIANCES AND FIXTURES TO BE ENERGY STAR RATED PER AN SHEETS AND ADA COMPLIANT AT ADA UNITS PER SITE PLAN  
11B. FREE STANDING OVEN AND RANGE WITH HOOD, SIDE WALL VENT  
11C. DISHWASHER PER PLUMBING  
11D. REFRIGERATOR WITH SELF DEFROSTING FREEZER  
11E. WASHER/DRYER  
11F. FURNISHINGS SHOWN FOR REF. ONLY, NIC  
13. ACCESSIBLE ELEMENTS (SEE AN1-3 FOR ADDITIONAL INFO AND SITE PLAN FOR APPLICABLE UNITS)  
13A. 30"x42" CLEAR SPACE  
13B. 5' TURNING RADIUS OR 5' "T" SPACE  
13C. 30" WIDE WORKSPACE WITH ADJUSTABLE OR LOWERABLE COUNTERTOP SPACE PER 804.3/AN3  
13D. 18" PUSH AND 12" PULL CLEARANCE AT LATCH SIDE, TYP.  
13E. REMOVEABLE BASE CABINETS PER 804.3/AN3. CONTINUE FLOORING TO BACK WALL  
15/16. MEP  
15A. SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES  
15B. TOILET/URINAL PER PLUMBING  
15C. SINK PER PLUMBING  
15D. CONDENSER PER PLUMBING  
15E. WATER HEATER PER PLUMBING  
15F. HVAC PER MECH  
15G. TUB AND SURROUND OR ROLL-IN SHOWER AT FIRST FLOOR OF ADA UNITS PER PLUMBING: HOTEL SHOWER WAND AND GRAB BARS AT ADA UNITS, OFFSET CONTROLS @ ADA AND U.D. UNITS  
15H. SEE ELECTRICAL PLANS FOR ADDITIONAL REFERENCE  
15I. DRINKING FOUNTAINS PER PUMING
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2A. REFER TO CIVIL FOR BUILDING LOCATIONS AND ADDITIONAL INFORMATION  
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3A. FOUNDATIONS TO BE SLAB ON GRADE OR RAISED CIP. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION AND LOCATIONS  
3B. PRE-CAST SPLASHBLOCK  
3C. VENEER STONE  
3D. CONC. PATIO, BROOM FINISH  
5. METALS  
5A. GUTTER AND DOWNSPOUT  
5B. 12" METAL ICE BREAK AT ALL DOWNSLOPES  
5C. VENTED ALUMINUM SOFFIT WINSECT/ FIRE SCREEN  
5D. METAL ROOF OVER UNDERLAYMENT PER LEGEND  
5E. METAL PANEL  
6. WOOD AND PLASTICS  
6A. ALL WALL DIMENSIONS TO FACE OF STUD OR CENTER OF ROUGH OPENING, U.N.O. SEE ATS LEGEND FOR CLARIFICATIONS  
6B. SEE S SHEETS FOR WALL FRAMING AND TYPES NOT SPECIFICALLY REFERENCED. ALL INTERIOR WALLS TYPE B, U.N.O.  
6C. SEE ATS FOR TYP. WALL TYPES  
6D. ALL PLUMB. & EXTERIOR WALLS SHALL BE 2X6 CONSTRUCTION U.N.O., WALL TYPES A AND C  
6E. COLUMNS PER STRUCTURAL  
6F. FINAL R.O. PER DOOR/WDW MFR  
6G. ALL DOORS TO BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.  
6H. CABINETS PER ENLARGED PLANS  
6J. COUNTERTOP  
6K. 1 1/2" WOOD HANDRAIL, CLEAR COAT GL. GUARDRAIL PER DETAIL 08/A5 02  
7. THERMAL AND WATER PROOFING PROTECTION  
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7B. ANY REMOVABLE FORMWORK TO UTILIZE LOW-TOXICITY FORM RELEASE AGENTS  
7C. ALL WATERPROOFING SYSTEMS TO BE WATER BASED  
7D. RIDGE VENT  
7E. TYVEK BUILDING WRAP  
7F. Z FLASHING  
7G. HARDI BOARD SIDING PER LEGEND  
7H. 5/4 4" PRE-FIN. HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD  
7J. 5/4 4" PRE-FIN. HARDI BOARD PRE-MADE EXT. CORNER TRIM BOARD. STANDARD COLOR, TBD  
7K. PRE-FINISHED HARDI BOARD FASCIA, STANDARD COLOR, TBD  
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8B. 24"x48" DRYWALL ATTIC ACCESS SET ON CLEAT. EXACT LOCATION TBD IN FIELD AND COORDINATED WITH TRUSS LOCATIONS  
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9B. ALL MATERIALS TO WRAP TO NEAREST INSIDE CORNER OR TO TRANSITION AS SHOWN  
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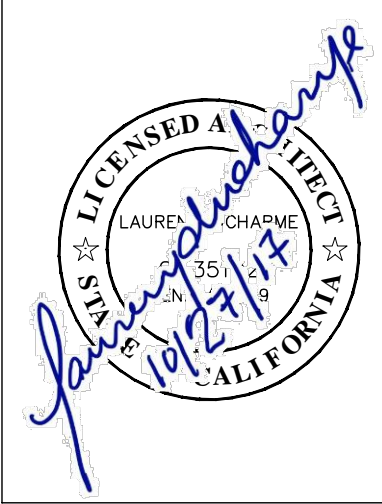
LEGEND

- METAL ROOFING/SIDING. FACTORY FINISH FROM STANDARD COLORS, TBD BY OWNER
- COMPOSITION ROOF, STANDARD COLORS, TBD BY OWNER
- HARDI BOARD4 AND 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER
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- CORONADO VILLA STONE VENEER COLOR TBD BY OWNER



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40% CDs	07/28/17
75% CDs	09/22/17
90% CDs	10/16/17
100% CDs	10/27/17

FOR CONSTRUCTION 10/27/17

LOTS 15,16,18,19

SHEET

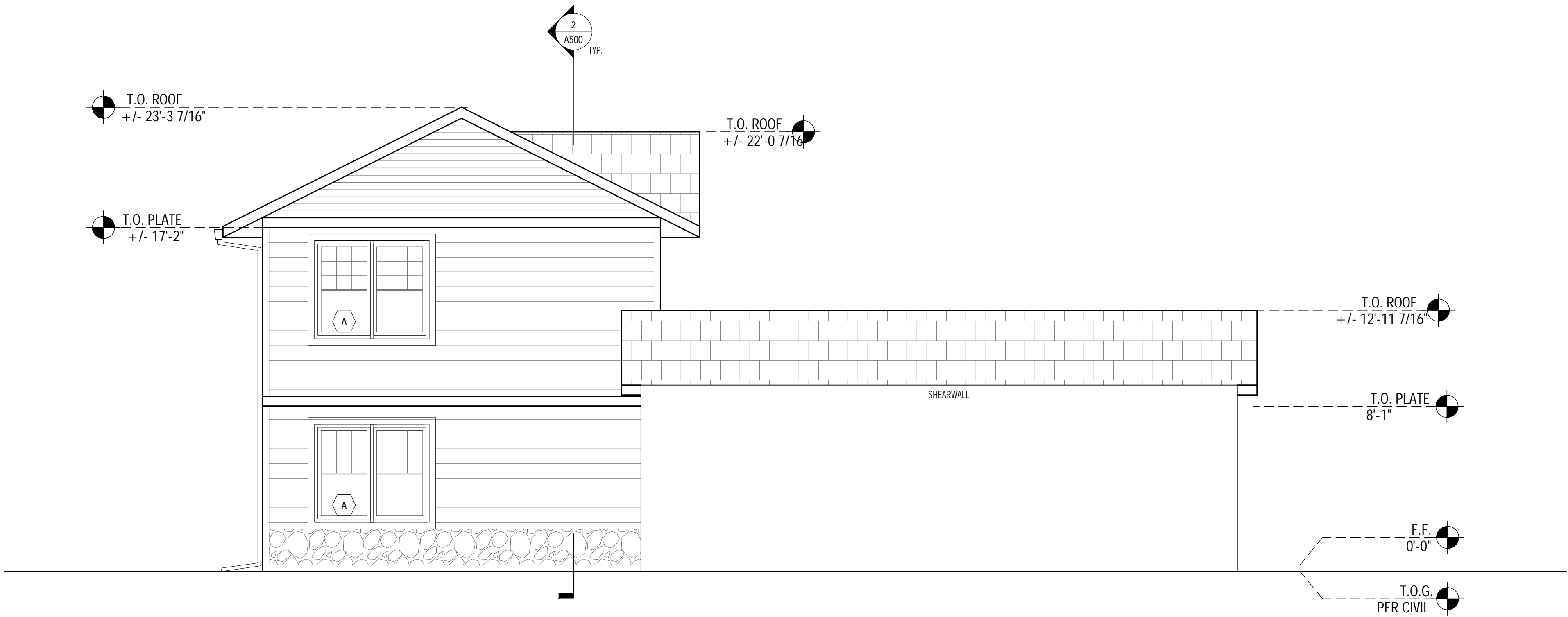
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THREE BEDROOM TYPE B  
DUPLEX ELEVATIONS



REAR ELEVATION 3

Scale: 1/4" = 1'-0"



SIDE ELEVATION 4

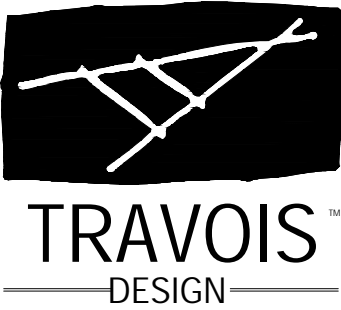
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LEGEND

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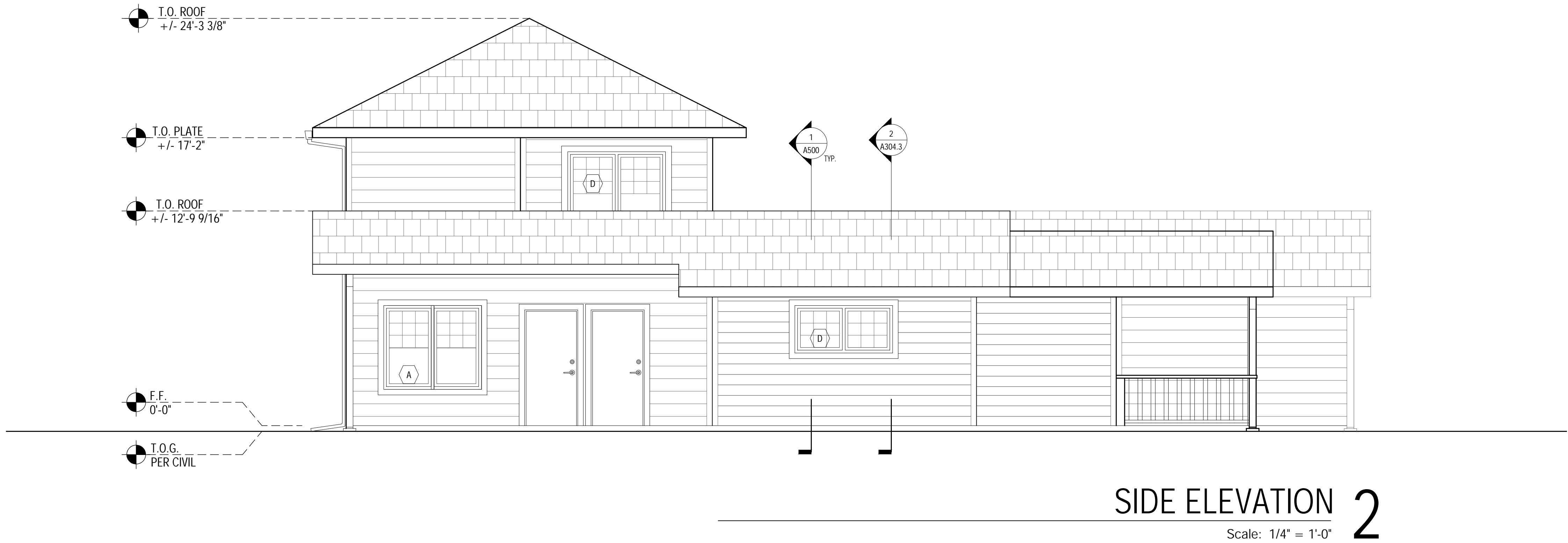
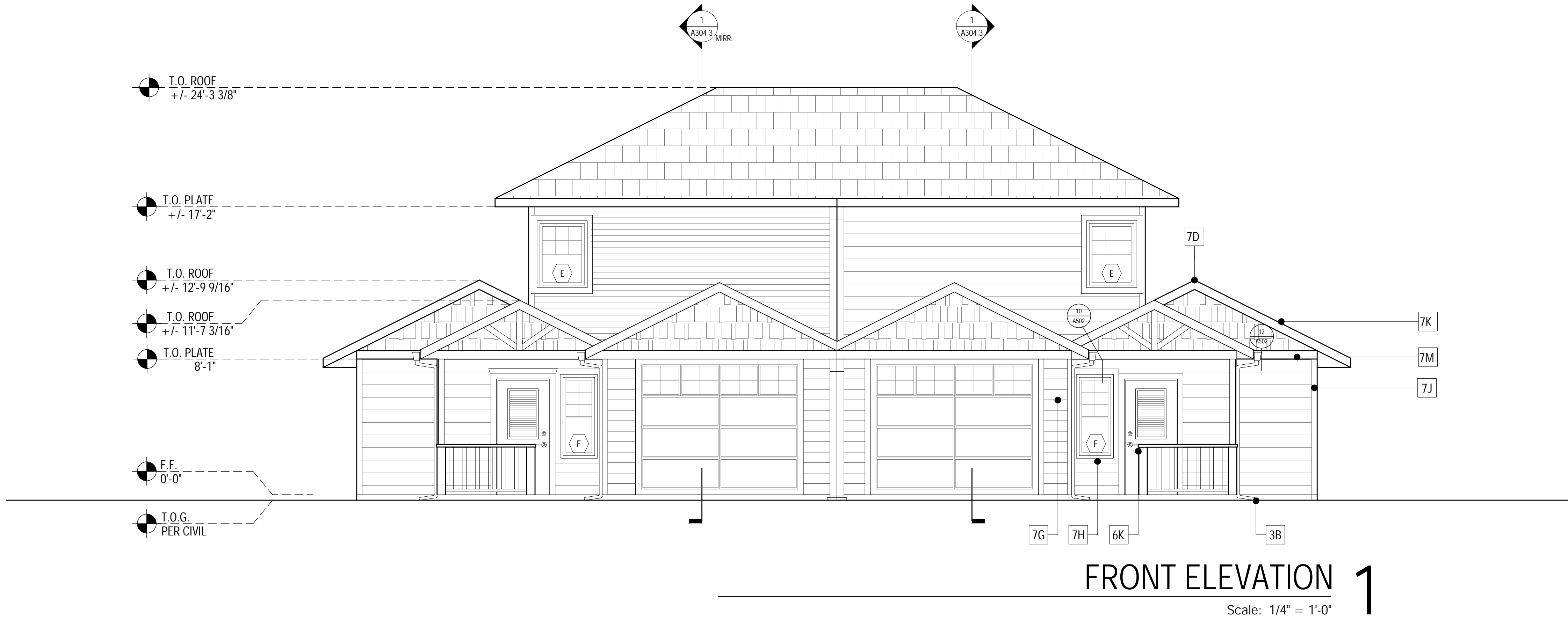
FOR CONSTRUCTION 10/27/17

LOTS 15,16,18,19

SHEET

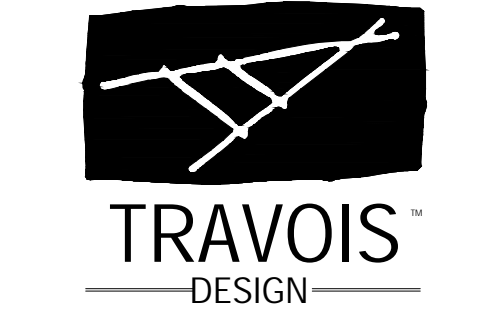
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THREE BEDROOM TYPE B  
DUPLEX ELEVATIONS



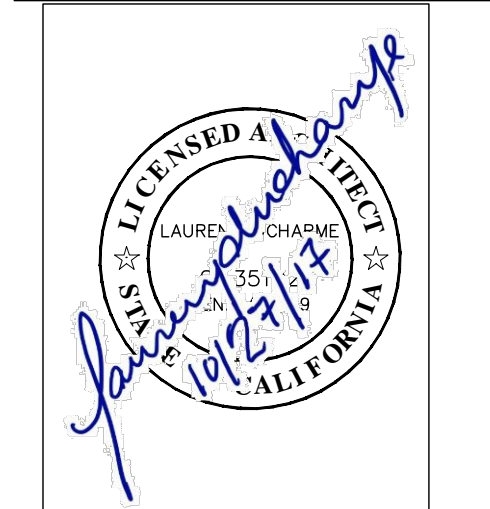
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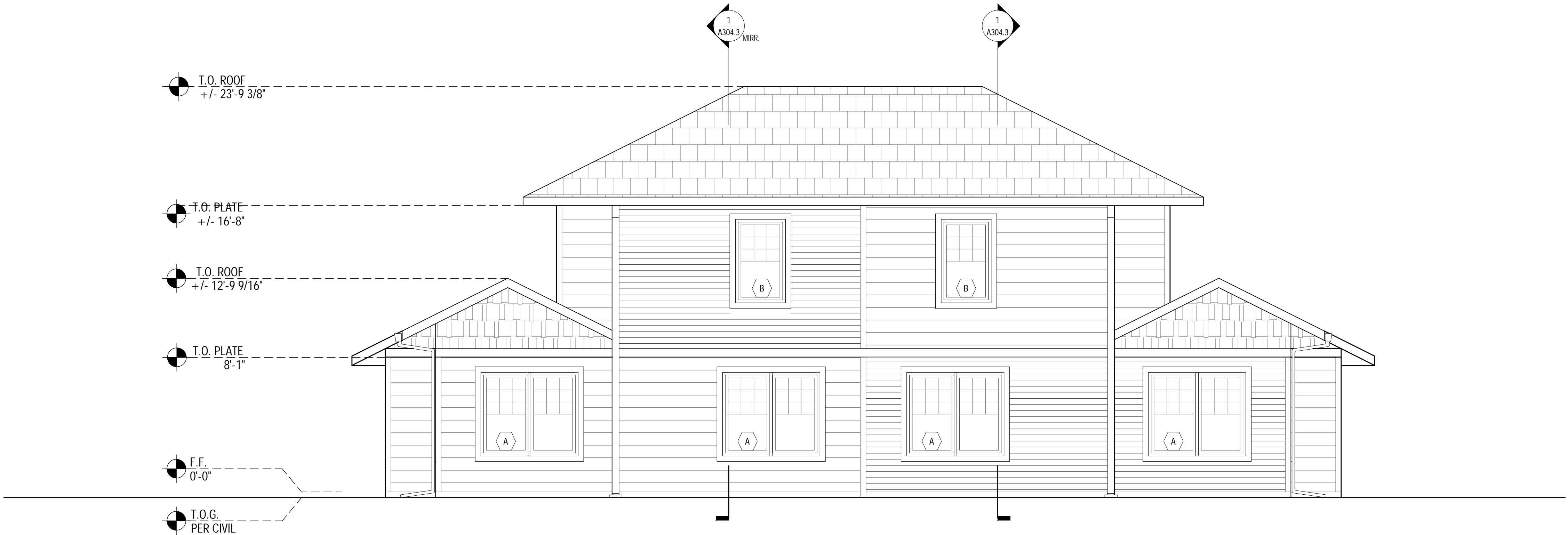
FOR CONSTRUCTION 10/27/17

LOTS 23,24

SHEET

A303.7

THREE BEDROOM TYPE C  
ELEVATIONS



## REAR ELEVATION 3

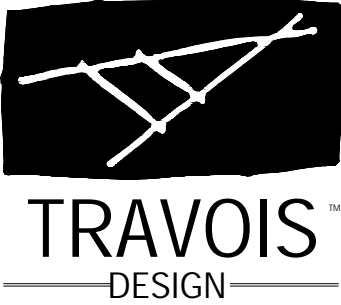
Scale: 1/4" = 1'-0"

## GENERAL NOTES (ORGANIZED BY CSI DIVISIONS)

- GENERAL
- 1A. SEE AN4 FOR SPECIFICATIONS AND OTHER DRAWINGS FOR INFO NOT SHOWN
- SITE WORK
- 2A. REFER TO CIVIL FOR BUILDING LOCATIONS AND ADDITIONAL INFORMATION
- CONCRETE
- 3A. FOUNDATIONS TO BE SLAB ON GRADE OR RAISED CIP. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION AND LOCATIONS
- 3B. PRE-CAST SPLASHBLOCK
- 3C. VENEER STONE
- 3D. CONC. PATIO, BROOM FINISH
- METALS
- 5A. GUTTER AND DOWNSPOUT
- 5B. 12' METAL ICE BREAK AT ALL DOWNSLOPES
- 5C. VENTED ALUMINUM SOFFIT WINSECT/ FIRE SCREEN
- 5D. METAL ROOF OVER UNDERLAYMENT PER LEGEND
- METAL PANEL
- WOOD AND PLASTICS
- 6A. ALL WALL DIMENSIONS TO FACE OF STUD OR CENTER OF ROUGH OPENING, U.N.O. SEE ATS LEGEND FOR CLARIFICATIONS
- 6B. SEE S SHEETS FOR WALL FRAMING AND TYPES NOT SPECIFICALLY REFERENCED. ALL INTERIOR WALLS TYPE B, U.N.O.
- 6C. SEE ATS FOR TYP. WALL TYPES
- 6D. ALL PLUMB. & EXTERIOR WALLS SHALL BE 2X6 CONSTRUCTION U.N.O., WALL TYPES A AND C
- 6E. COLUMNS PER STRUCTURAL
- 6F. FINAL R.O. PER DOOR/WDW MFR
- 6G. ALL DOORS TO BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.
- 6H. CABINETS PER ENLARGED PLANS
- 6J. COUNTERTOP
- 6K. 1 1/2" WOOD HANDRAIL, CLEAR COAT GL. GUARDRAIL PER DETAIL 08/A5 02
7. THERMAL AND WATER PROOFING PROTECTION
- 7A. INSULATION
- 7B. ANY REMOVABLE FORMWORK TO UTILIZE LOW-TOXICITY FORM RELEASE AGENTS
- 7C. ALL WATERPROOFING SYSTEMS TO BE WATER BASED
- 7D. RIDGE VENT
- 7E. TYVEK BUILDING WRAP
- 7F. Z FLASHING
- 7G. HARDI BOARD SIDING PER LEGEND
- 7H. 5/4 4" PRE-FIN. HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD
- 7J. 5/4 4" PRE-FIN. HARDI BOARD PRE-MADE EXT. CORNER TRIM BOARD. STANDARD COLOR, TBD
- 7K. PRE-FINISHED HARDI BOARD FASCIA, STANDARD COLOR, TBD
- 7L. UNDERSLAB VAPOR BARRIER
- 7M. 5/4 6" PRE-FINISHED HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD
- 7N. COMP. ROOF SHINGLES OR TPO MEMBRANE, SEE LEGEND
- DOORS AND WINDOWS
- 8A. SEE DOOR AND WINDOW SCHEDULE
- 8B. 24"x48" DRYWALL ATTIC ACCESS SET ON CLEAT. EXACT LOCATION TBD IN FIELD AND COORDINATED WITH TRUSS LOCATIONS
- FINISHES
- 9A. SEE FINISH SCHEDULE AND SPECIFICATIONS FOR ADD'L INFO
- 9B. ALL MATERIALS TO WRAP TO NEAREST INSIDE CORNER OR TO TRANSITION AS SHOWN
- 9C. ALL WALL SURFACES IN BATHS, RESTROOMS, LAUNDRY, UTILITY, KITCHEN & WET LOCATIONS, AREAS IMMEDIATELY ADJ. TO RANGE TOP & HOT WATER HEATER TO RECEIVE WATER RESIST. PURPLE GYP. BD.
- GYPSUM BOARD
- SPECIALTIES
- 10A. PROVIDE (5) TIERS OF 24" DEEP MDF SHELVING. PAINT TO MATCH WALLS, TYP.
- 10B. WALL MOUNTED MIRROR ABOVE SINK AND COUNTER
- 10C. PROVIDE (1) CHROME TOILET PAPER TOWEL HOLDER PER TOILET/STALL
- 10D. PROVIDE (1) SOAP DISPENSER PER SINK.
- 10E. GRAB BARS WITH BACKING @ ADA UNITS. PROVIDE BACKING @ UNIVERSAL DESIGN UNITS
- 10F. CLEARLY MARKED, ADDRESS NUMBERS
- 10G. (2) TOWEL BARS
- 10H. TOILET PARTITIONS
- 10I. RECESSED MED. CAB. WITH MIRROR
- 10J. PROVIDE NEW, 12" WHITE, WIRE SHELF. PROVIDE 1" SATIN NICKEL METAL ROD IN CLOSETS
- 10K. MOVEABLE PARTITIONS
11. EQUIPMENT (SEE AN4 AND MEP FOR ADDITIONAL INFO)
- 11A. ALL APPLIANCES AND FIXTURES TO BE ENERGY STAR RATED PER AN SHEETS AND ADA COMPLIANT AT ADA UNITS PER SITE PLAN
- 11B. FREE STANDING OVEN AND RANGE WITH HOOD, SIDE WALL VENT
- 11C. DISHWASHER PER PLUMBING
- 11D. REFRIGERATOR WITH SELF DEFROSTING FREEZER
- 11E. WASHER/DRYER
- 11F. FURNISHINGS SHOWN FOR REF. ONLY, NIC
13. ACCESSIBLE ELEMENTS (SEE AN1-3 FOR ADDITIONAL INFO AND SITE PLAN FOR APPLICABLE UNITS)
- 13A. 30"x42" CLEAR SPACE
- 13B. 5' TURNING RADIUS OR 5' "T" SPACE
- 13C. 30" WIDE WORKSPACE WITH ADJUSTABLE OR LOWERABLE COUNTERTOP SPACE PER 804.3/AN3
- 13D. 18" PUSH AND 12" PULL CLEARANCE AT LATCH SIDE, TYP.
- 13E. REMOVEABLE BASE CABINETS PER 804.3/AN3. CONTINUE FLOORING TO BACK WALL
- 15/16. MEP
- 15A. SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES
- 15B. TOILET/URINAL PER PLUMBING
- 15C. SINK PER PLUMBING
- 15D. CONDENSER PER PLUMBING
- 15E. WATER HEATER PER PLUMBING
- 15F. HVAC PER MECH
- 15G. TUB AND SURROUND OR ROLL-IN SHOWER AT FIRST FLOOR OF ADA UNITS PER PLUMBING: HOTEL SHOWER WAND AND GRAB BARS AT ADA UNITS, OFFSET CONTROLS @ ADA AND U.D. UNITS
- 15H. SEE ELECTRICAL PLANS FOR ADDITIONAL REFERENCE
- 15I. DRINKING FOUNTAINS PER PUMBING

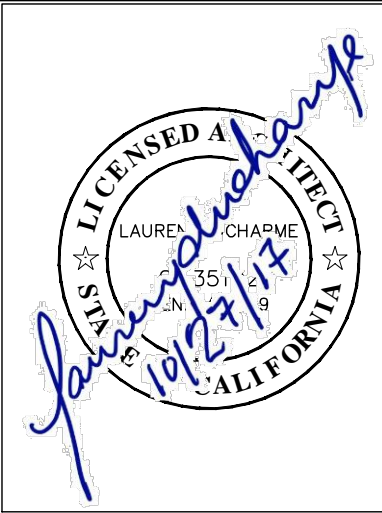
## LEGEND

	METAL ROOFING/SIDING. FACTORY FINISH FROM STANDARD COLORS, TBD BY OWNER
	COMPOSITION ROOF, STANDARD COLORS, TBD BY OWNER
	HARDI BOARD4 AND 8" LAP SIDING. FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER
	HARDI BOARD, 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER
	HARDI BOARD CEDAR SHAKES, RANDOM EDGE DOWN, STANDARD MFR. COLORS 1 AND 2 TBD BY OWNER
	CORONADO VILLA STONE VENEER COLOR TBD BY OWNER



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REVISION	DATE
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25% CDs	06/30/17
40% CDs	07/28/17
75% CDs	09/22/17
90% CDs	10/16/17
100% CDs	10/27/17

FOR CONSTRUCTION 10/27/17

LOTS 23,24

SHEET

A303.8

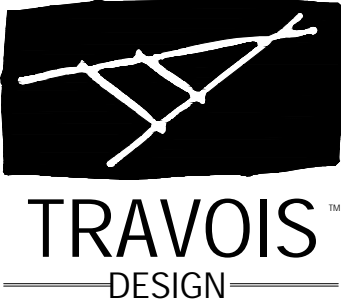
THREE BEDROOM TYPE C  
ELEVATIONS

GENERAL NOTES (ORGANIZED BY CSI DIVISIONS)

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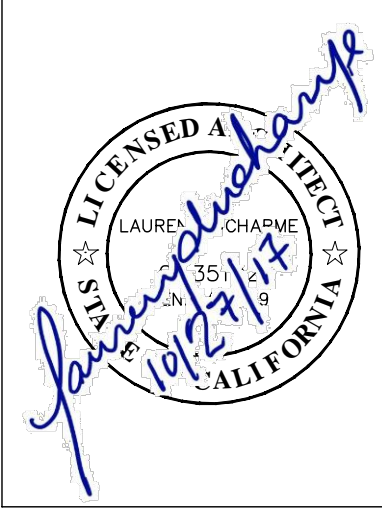
LEGEND

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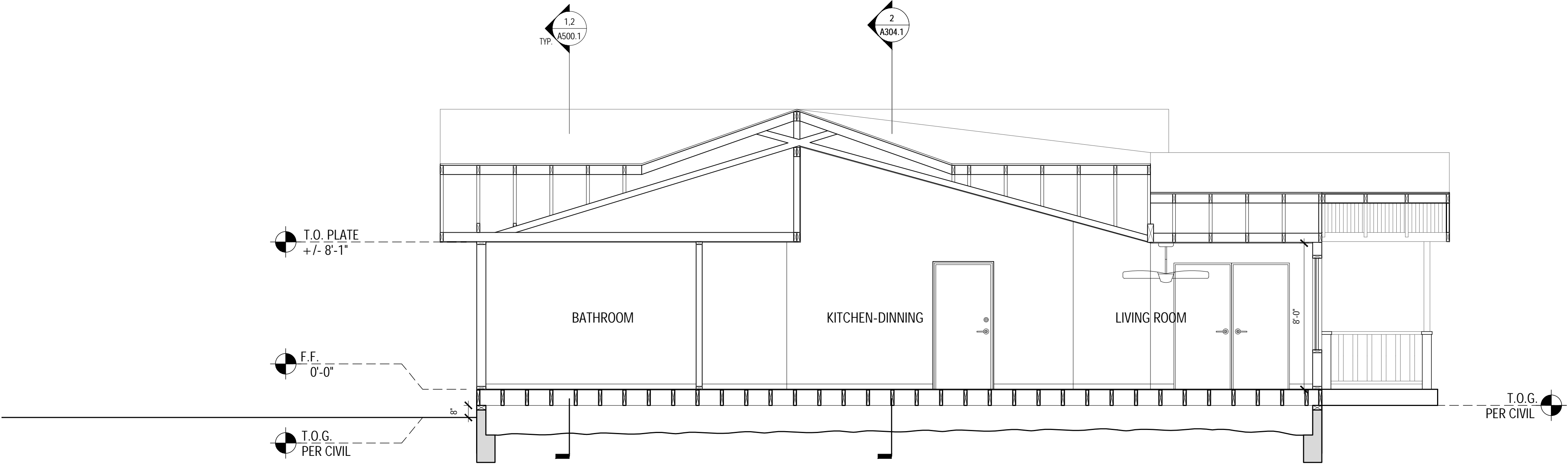
FOR CONSTRUCTION 10/27/17

LOTS 14,20  
LOTS 12,13,27,28

SHEET

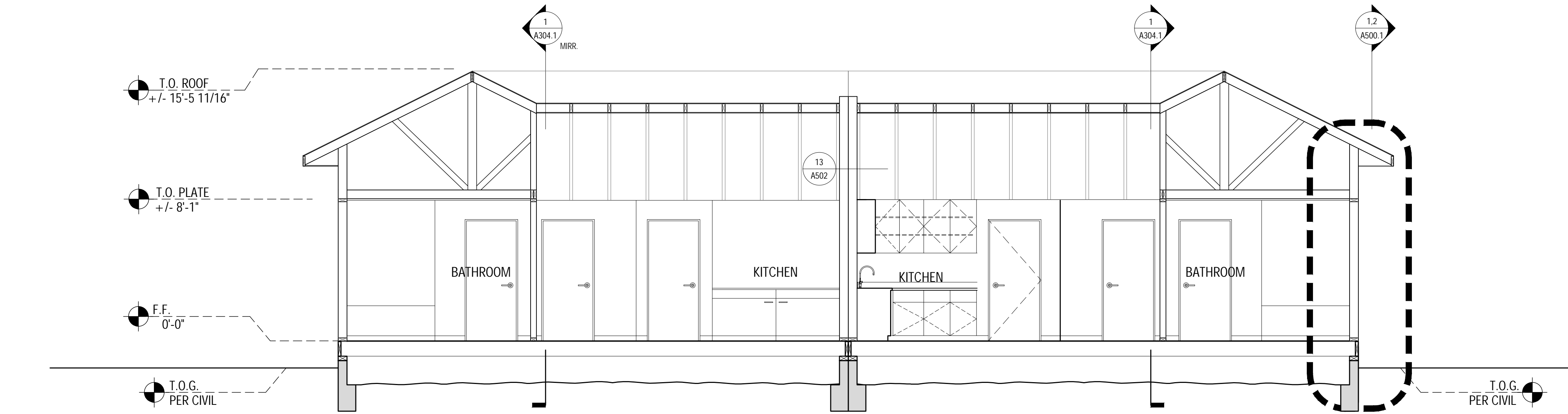
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THREE BEDROOM  
TYPE A SECTIONS



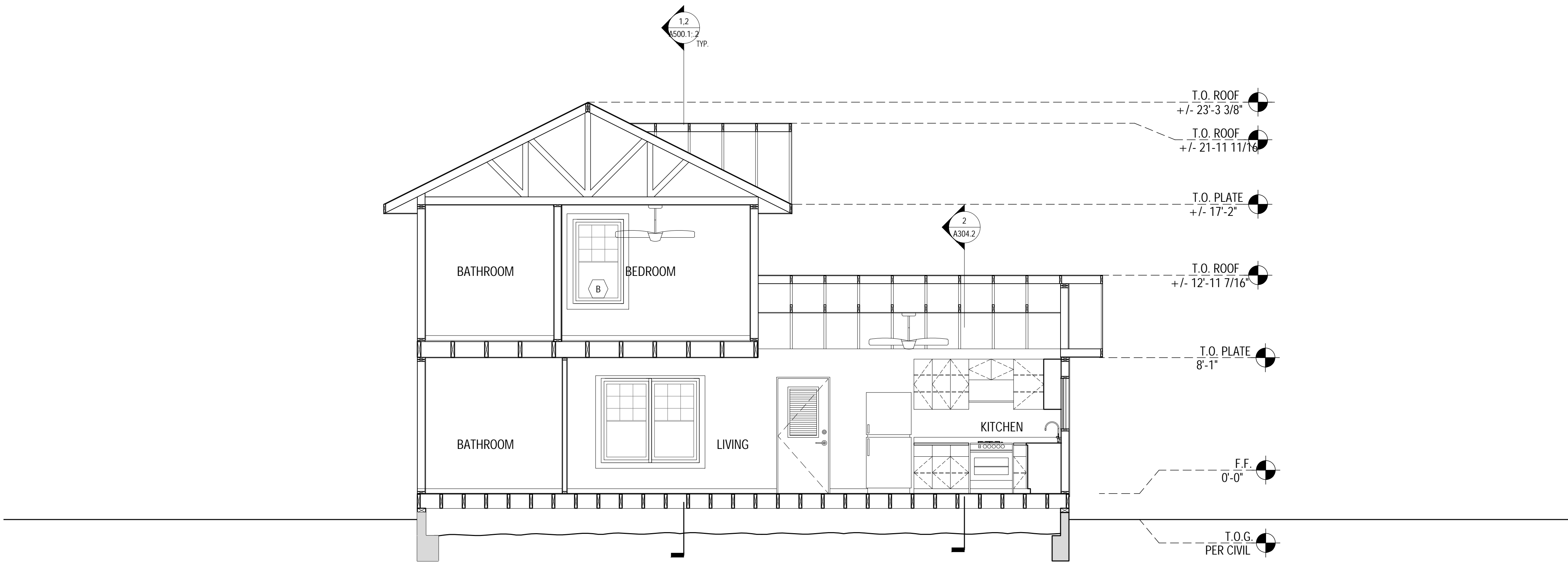
LONGITUDINAL SECTION 1

Scale: 1/4" = 1'-0"



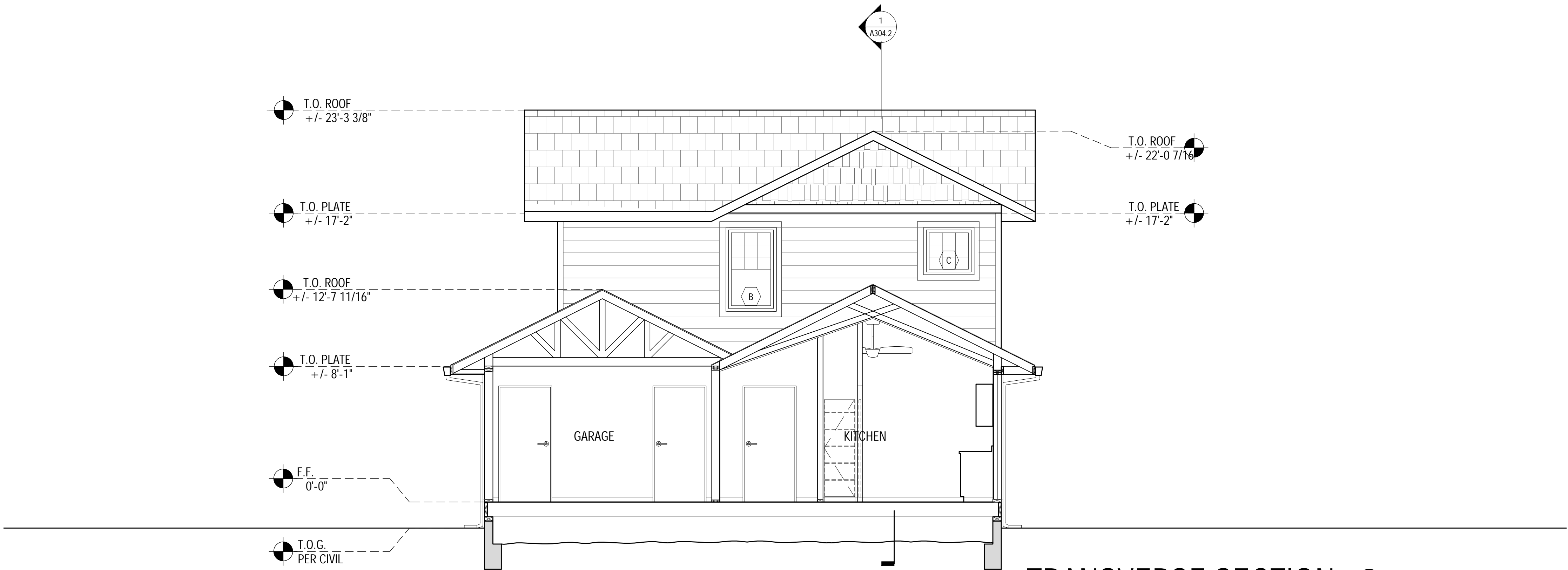
TRANSVERSE SECTION 2

Scale: 1/4" = 1'-0"



LONGITUDINAL SECTION 1

Scale: 1/4" = 1'-0"



TRANSVERSE SECTION 2

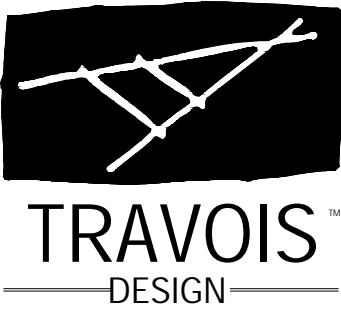
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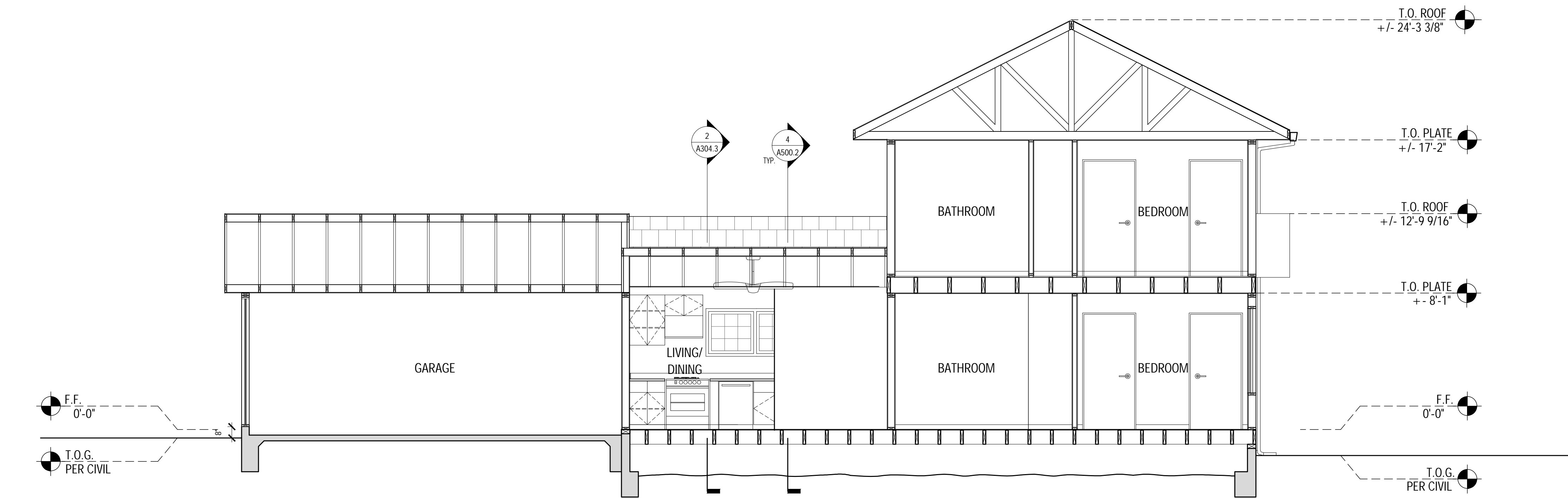
FOR CONSTRUCTION 10/27/17

LOTS 17  
LOTS 15,16,18,19

SHEET

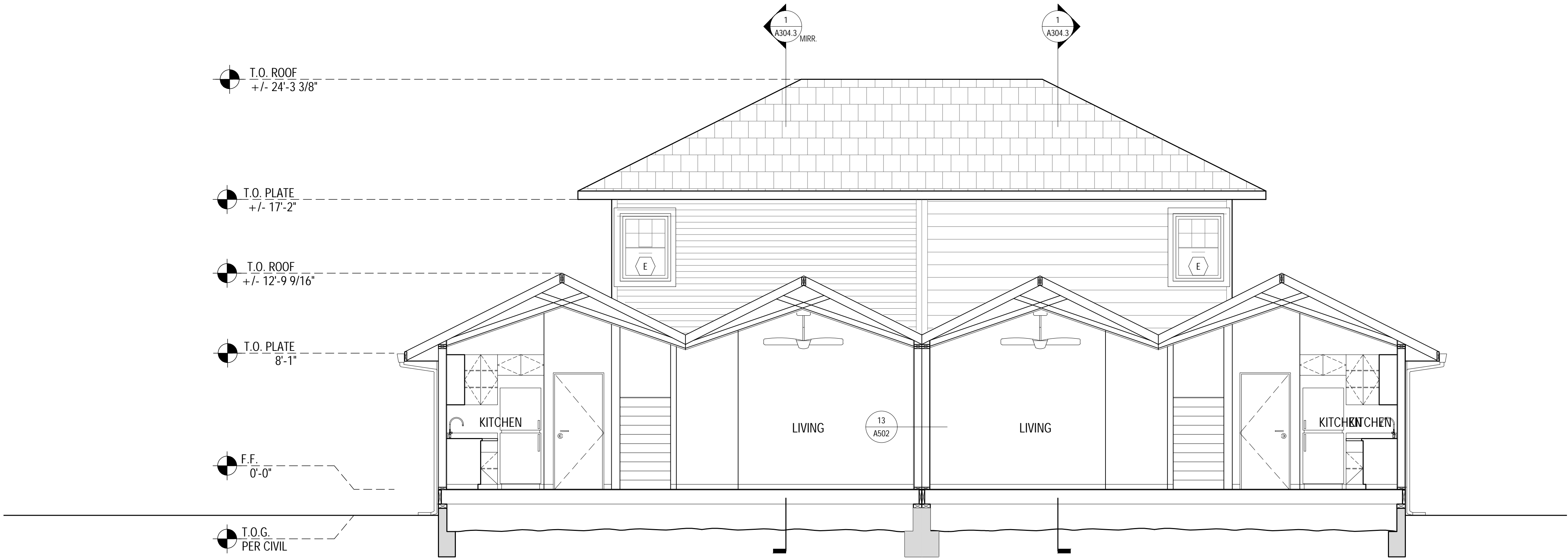
A304.2

THREE BEDROOM  
TYPE B SECTIONS



LONGITUDINAL SECTION 1

Scale: 1/4" = 1'-0"



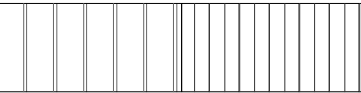
TRANSVERSE SECTION 2

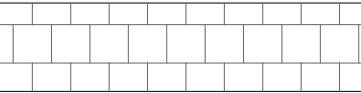
Scale: 1/4" = 1'-0"

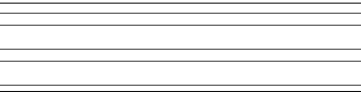
GENERAL NOTES (ORGANIZED BY CSI DIVISIONS)

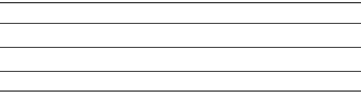
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5D. METAL ROOF OVER UNDERLAYMENT PER LEGEND  
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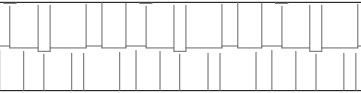
LEGEND


- 

METAL ROOFING/SIDING. FACTORY FINISH FROM STANDARD COLORS, TBD BY OWNER
- 

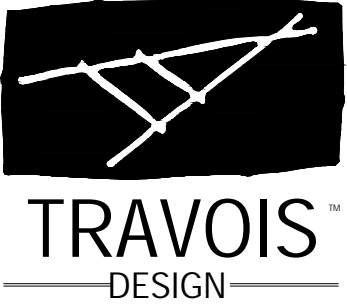
COMPOSITION ROOF, STANDARD COLORS, TBD BY OWNER
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HARDI BOARD, 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER
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CORONADO VILLA STONE VENEER COLOR TBD BY OWNER



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40% CDs	07/28/17
75% CDs	09/22/17
90% CDs	10/16/17
100% CDs	10/27/17

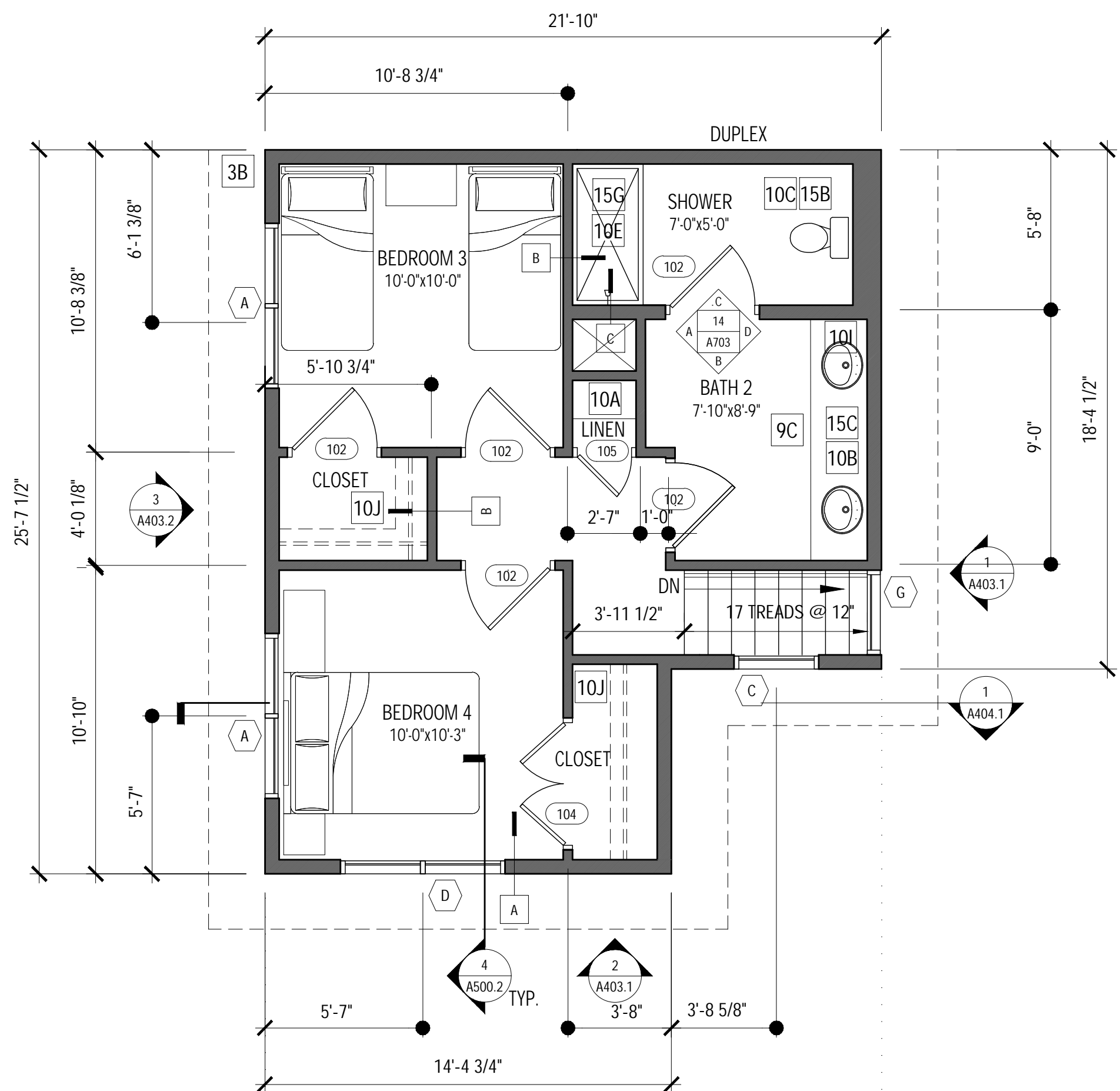
FOR CONSTRUCTION 10/27/17

LOTS 23,24

SHEET

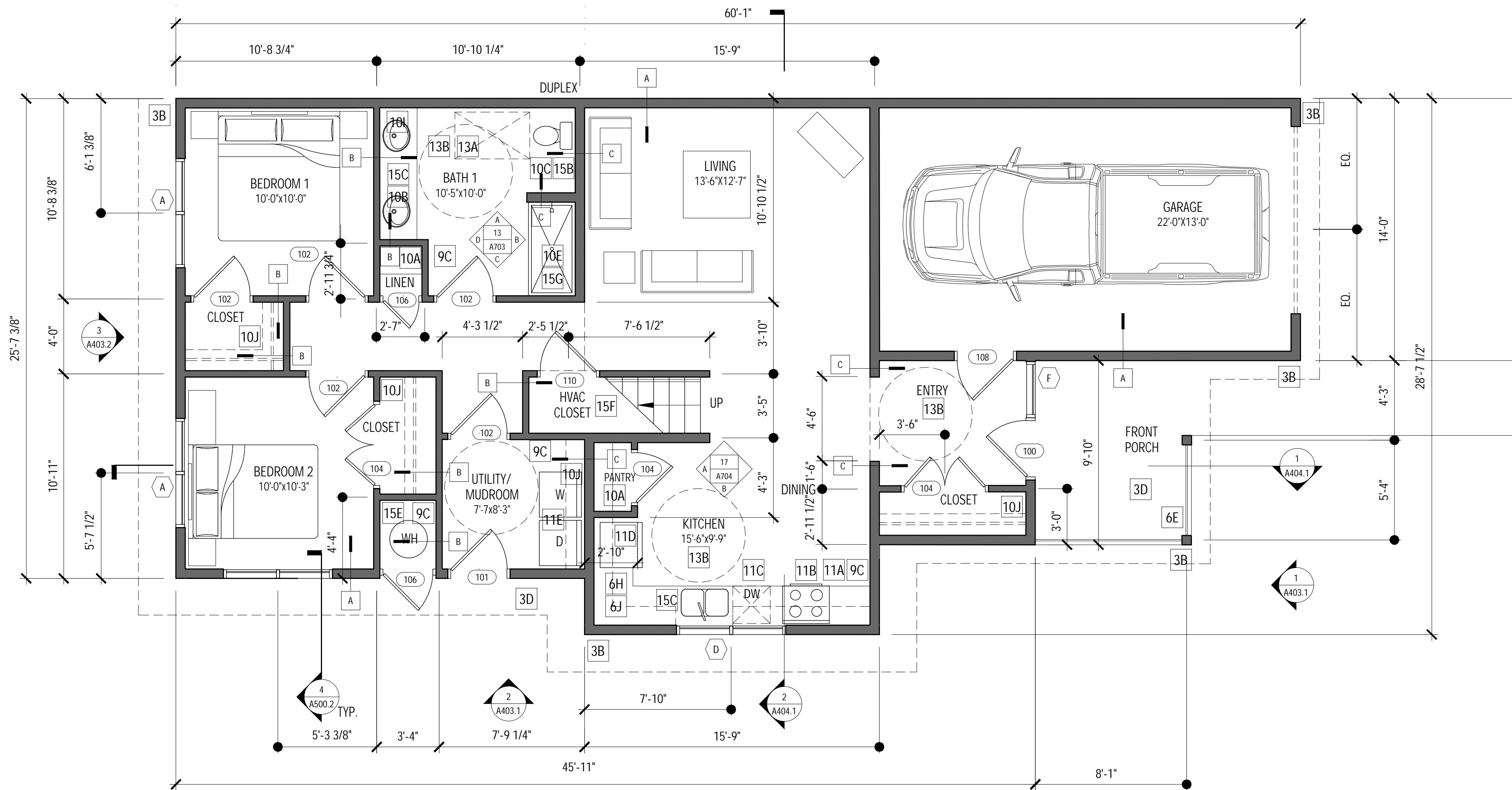
A304.3

THREE BEDROOM  
TYPE C SECTIONS



## UPPER FLOOR PLAN 2

Scale: 1/4" = 1'-0"



## GROUND FLOOR PLAN 1

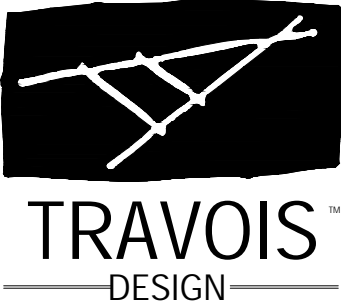
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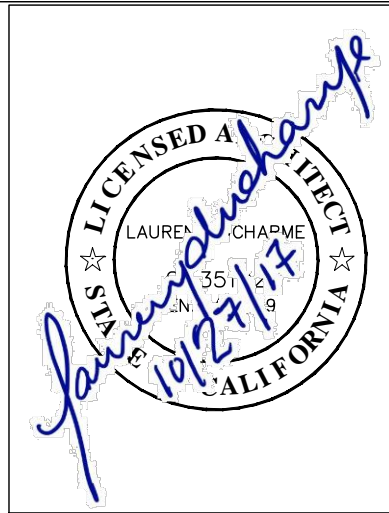
### LEGEND

- |  |   |
|--|---|
|  | METAL ROOFING/SIDING, FACTORY FINISH FROM STANDARD COLORS, TBD BY OWNER               |
|  | COMPOSITION ROOF, STANDARD COLORS, TBD BY OWNER                                       |
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REVISION	DATE
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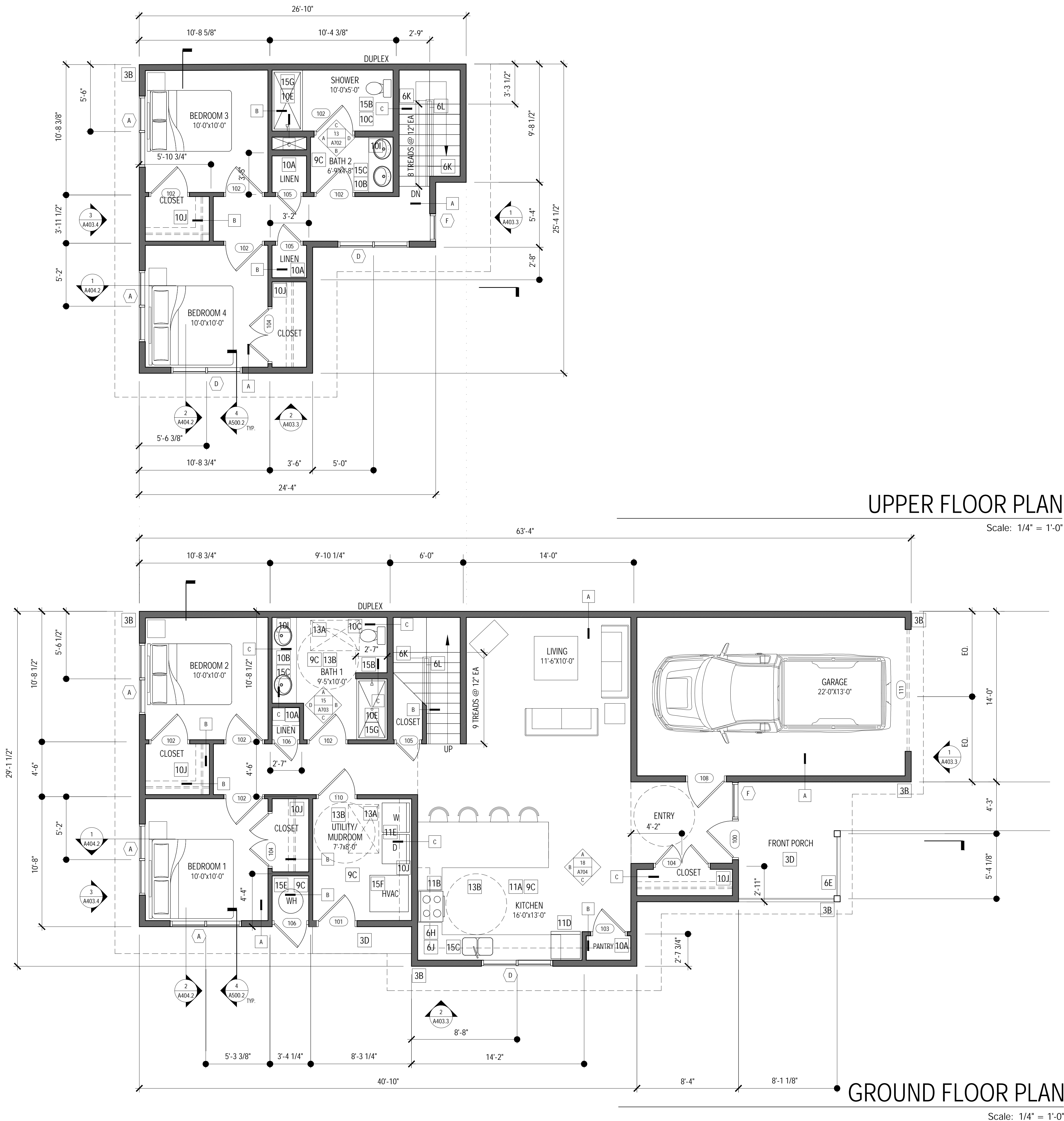
FOR CONSTRUCTION 10/27/17

LOTS 21,22  
LOTS 25,26

SHEET

A400.1

FOUR BEDROOM  
TYPE A FLOOR PLAN



UPPER FLOOR PLAN 2

Scale: 1/4" = 1'-0"

GROUND FLOOR PLAN 1

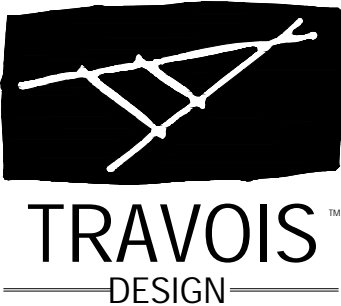
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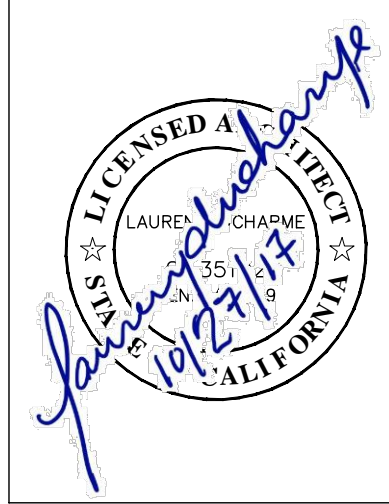
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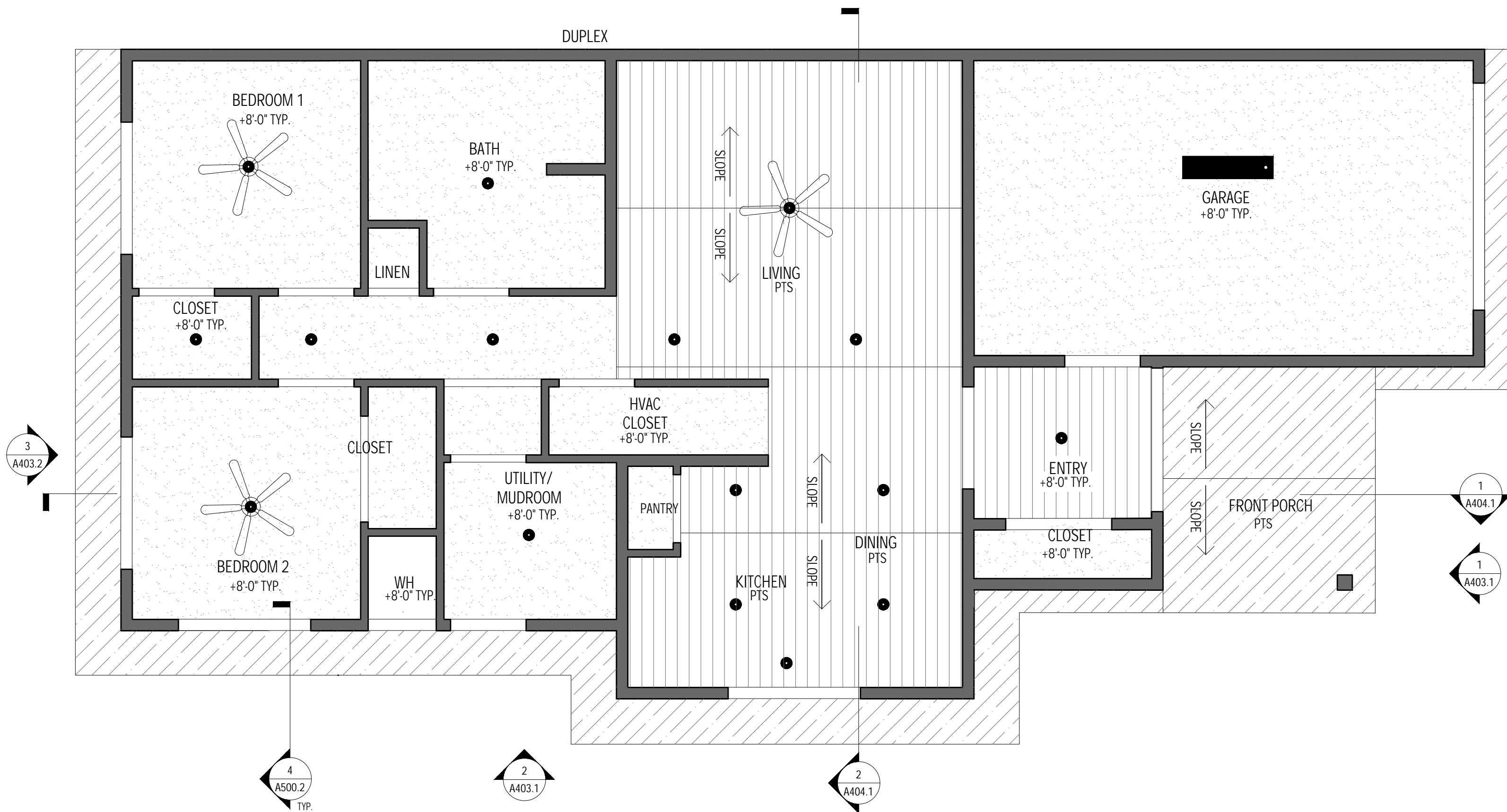
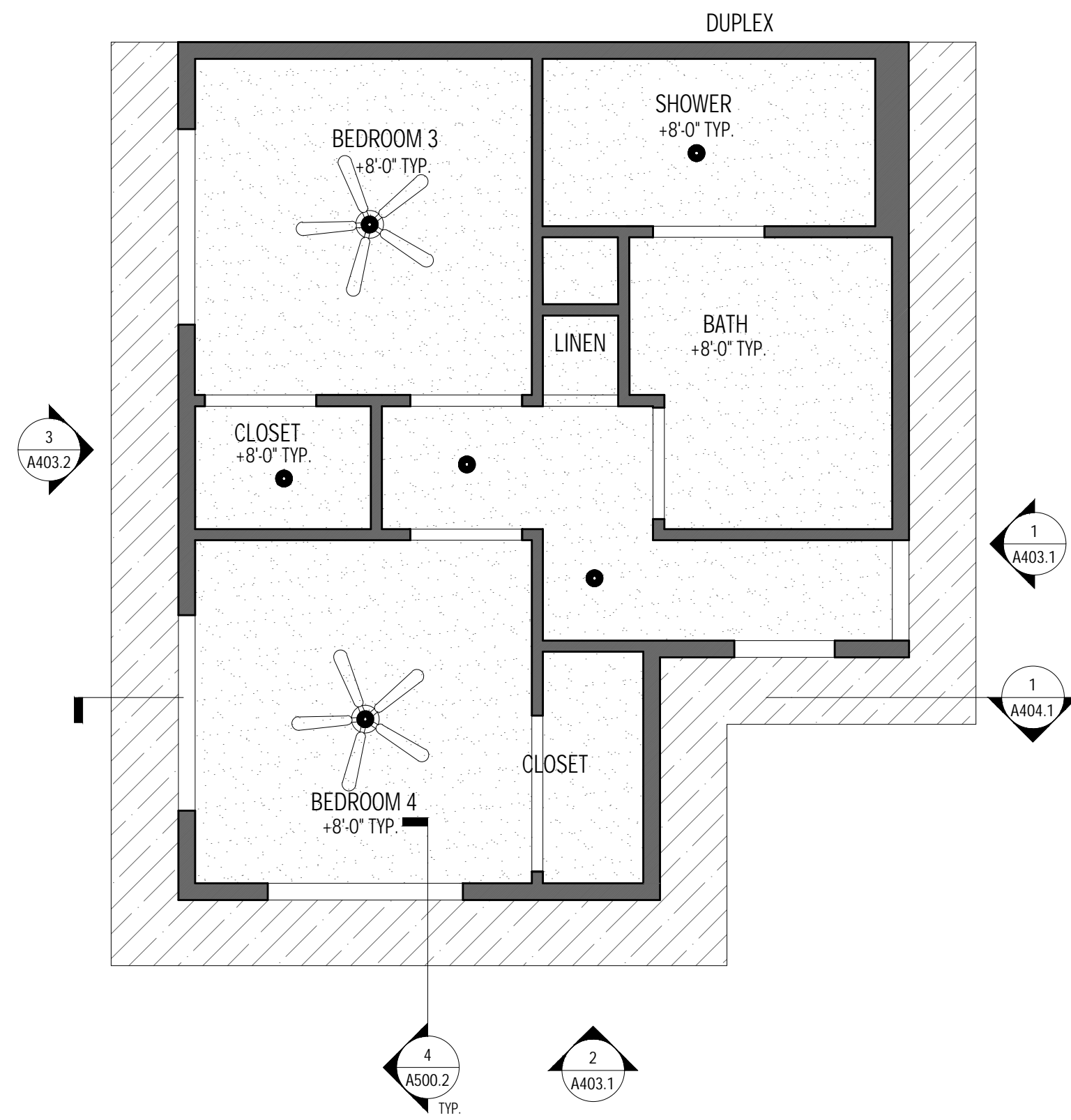
FOR CONSTRUCTION 10/27/17

LOTS 10,11.

SHEET

A400.2

FOUR BEDROOM  
TYPE B FLOOR PLAN



# REFLECTED CEILING PLAN

Scale: 1/4" = 1'-0"

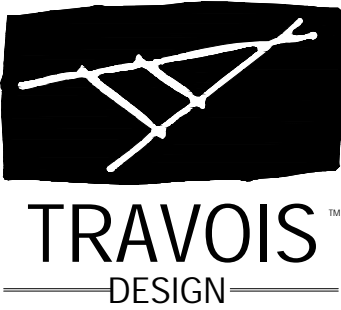
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- 1A. SEE AN4 FOR SPECIFICATIONS AND OTHER DRAWINGS FOR INFO NOT SHOWN
- SITE WORK
- 2A. REFER TO CIVIL FOR BUILDING LOCATIONS AND ADDITIONAL INFORMATION
- CONCRETE
- 3A. FOUNDATIONS TO BE SLAB ON GRADE OR RAISED CIP. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION AND LOCATIONS
- 3B. PRE-CAST SPLASHBLOCK
- VENEER STONE
- 3D. CONC. PATIO, BROOM FINISH
- METALS
- 5A. GUTTER AND DOWNSPOUT
- 5B. 12" METAL ICE BREAK AT ALL DOWNSLOPES
- 5C. VENTED ALUMINUM SOFFIT W/INSECT/ FIRE SCREEN
- 5D. METAL ROOF OVER UNDERLAYMENT PER LEGEND
- WOOD AND PLASTICS
- 6A. ALL WALL DIMENSIONS TO FACE OF STUD OR CENTER OF ROUGH OPENING, U.N.O. SEE ATS LEGEND FOR CLARIFICATIONS
- 6B. SEE S SHEETS FOR WALL FRAMING AND TYPES NOT SPECIFICALLY REFERENCED. ALL INTERIOR WALLS TYPE B, U.N.O.
- 6C. SEE ATS FOR TYP. WALL TYPES
- 6D. ALL PLUMB. & EXTERIOR WALLS SHALL BE 2X6 CONSTRUCTION U.N.O., WALL TYPES A AND C
- 6E. COLUMNS PER STRUCTURAL
- 6F. FINAL R.O. PER DOOR/WDW MFR
- 6G. ALL DOORS TO BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.
- 6H. CABINETS PER ENLARGED PLANS
- 6J. COUNTERTOP
- 6K. 1 1/2" WOOD HANDRAIL, CLEAR COAT GL. GUARDRAIL PER DETAIL 08/A5 02
- THERMAL AND WATER PROOFING PROTECTION
- 7A. INSULATION
- 7B. ANY REMOVABLE FORMWORK TO UTILIZE LOW-TOXICITY FORM RELEASE AGENTS
- 7C. ALL WATERPROOFING SYSTEMS TO BE WATER BASED
- RIDGE VENT
- 7E. TYVEK BUILDING WRAP
- 7F. Z FLASHING
- 7G. HARDI BOARD SIDING PER LEGEND
- 7H. 5/4 4" PRE-FIN. HARDI BOARD TRIM. STANDARD COLOR, TBD
- 7J. 5/4 4"PRE- FIN. HARDI BOARD PRE-MADE EXT. CORNER TRIM BOARD. STANDARD COLOR, TBD
- 7K. PRE-FINISHED HARDI BOARD FASCIA, STANDARD COLOR, TBD
- 7L. UNDERSLAB VAPOR BARRIER
- 7M. 5/4 6" PRE-FINISHED HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD
- 7N. COMP. ROOF SHINGLES OR TPO MEMBRANE, SEE LEGEND
- DOORS AND WINDOWS
- 8A. SEE DOOR AND WINDOW SCHEDULE
- 8B. 24"x48" DRYWALL ATTIC ACCESS SET ON CLEAT. EXACT LOCATION TBD IN FIELD AND COORDINATED WITH TRUSS LOCATIONS
- FINISHES
- 9A. SEE FINISH SCHEDULE AND SPECIFICATIONS FOR ADD'L INFO
- 9B. ALL MATERIALS TO WRAP TO NEAREST INSIDE CORNER OR TO TRANSITION AS SHOWN
- 9C. ALL WALL SURFACES IN BATHROOMS, RESTROOMS, LAUNDRY, UTILITY, KITCHEN AND WET LOCATIONS, AREAS IMMEDIATELY ADJACENT TO RANGE TOP AND HOT WATER HEATER TO RECEIVE WATER RESISTANT PURPLE GYP. BD.
- 9D. GYPSUM BOARD
- SPECIALTIES
- 10A. PROVIDE (5) TIERS OF 24" DEEP MDF SHELVING. PAINT TO MATCH WALLS, TYP.
- 10B. WALL MOUNTED MIRROR ABOVE SINK AND COUNTER
- 10C. PROVIDE (1) CHROME TOILET PAPER TOWEL HOLDER PER TOILET/STALL
- 10D. PROVIDE (1) SOAP DISPENSER PER SINK.
- 10E. GRAB BARS WITH BACKING @ ADA UNITS. PROVIDE BACKING @ UNIVERSAL DESIGN UNITS
- 10F. CLEARLY MARKED. ADDRESS NUMBERS
- 10G. (2) TOWEL BARS
- 10H. TOILET PARTITIONS
- 10I. RECESSED MED. CAB. WITH MIRROR
- 10J. PROVIDE NEW, 12" WHITE, WIRE SHELF. PROVIDE 1" SATIN NICKEL METAL ROD IN CLOSETS
- 10K.MOVEABLE PARTITIONS
- 11.EQUIPMENT (SEE AN4 AND MEP FOR ADDITIONAL INFO)
- 11A. ALL APPLIANCES AND FIXTURES TO BE ENERGY STAR RATED PER AN SHEETS AND ADA COMPLIANT AT ADA UNITS PER SITE PLAN
- 11B. FREE STANDING OVEN AND RANGE WITH HOOD, SIDE WALL VENT
- 11C. DISHWASHER PER PLUMBING
- 11D. REFRIGERATOR WITH SELF DEFROSTING FREEZER
- 11E. WASHER/DRYER
- 11F. FURNISHINGS SHOWN FOR REF. ONLY, NIC
13. ACCESSIBLE ELEMENTS (SEE AN1-3 FOR ADDITIONAL INFO AND SITE PLAN FOR APPLICABLE UNITS)
- 13A. 30"x42" CLEAR SPACE
- 13B. 5" TURNING RADIUS OR 5' "T" SPACE
- 13C. 30" WIDE WORKSPACE WITH ADJUSTABLE OR LOWERABLE COUNTERTOP SPACE PER 804.3/AN3
- 15/16. MEP
- 15A.SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES
- 15B. TOILET/URINAL PER PLUMBING
- 15C. SINK PER PLUMBING
- 15D. CONDENSER PER PLUMBING
- 15E. WATER HEATER PER PLUMBING
- 15F. HVAC PER MECH
- 15G. TUB AND SURROUND OR ROLL-IN SHOWER AT FIRST FLOOR OF ADA UNITS PER PLUMBING: HOTEL SHOWER WAND AND GRAB BARS AT ADA UNITS, OFFSET CONTROLS @ ADA AND U.D. UNITS
- 15H. SEE ELECTRICAL PLANS FOR ADDITIONAL REFERENCE
- 15I. DRINKING FOUNTAINS PER PUMBING

## LEGEND

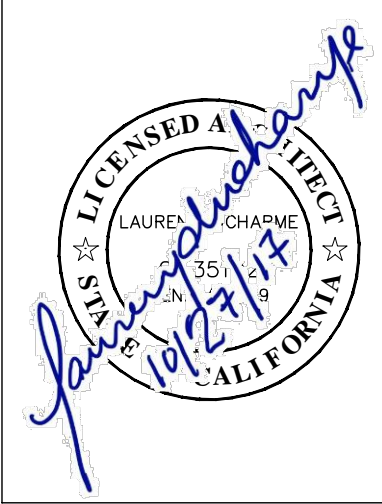
- |  |  |
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|  | FLAT CEILING, HEIGHT AFF AS NOTED, FIN. PER SCHED.               |
|  | SLOPED CEILING (PTS-PER APPROVED TRUSS SUBMITTAL) FIN.PER SCHED. |
|  | HARD BOARD SOFFIT VENTED WHERE ADJ. TO ATTIC AT OUTRIGGERS       |



## Coyote Valley Homes I, LIHTC

Redwood Valley, California

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KANSAS CITY, MO 64108  
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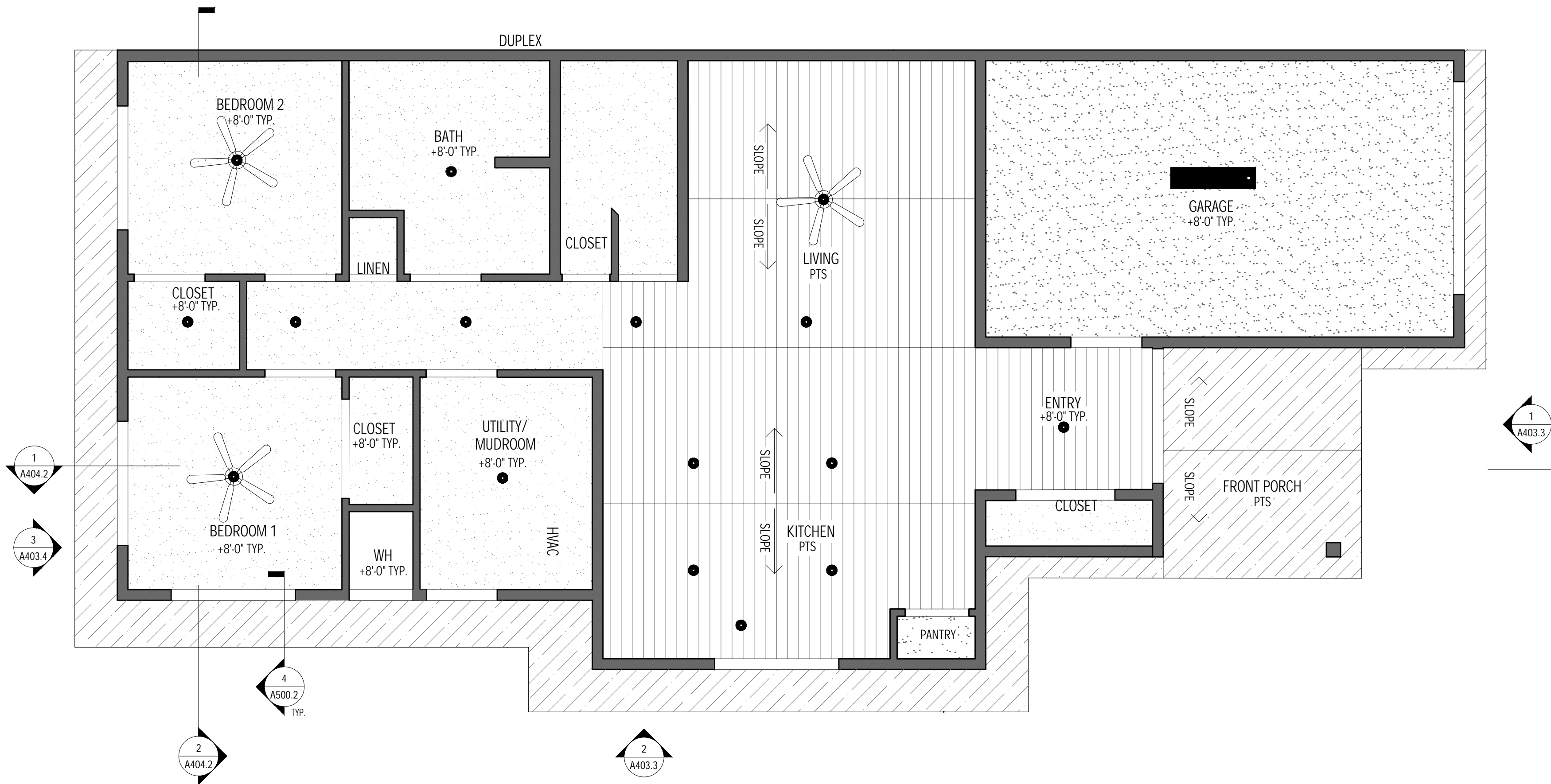
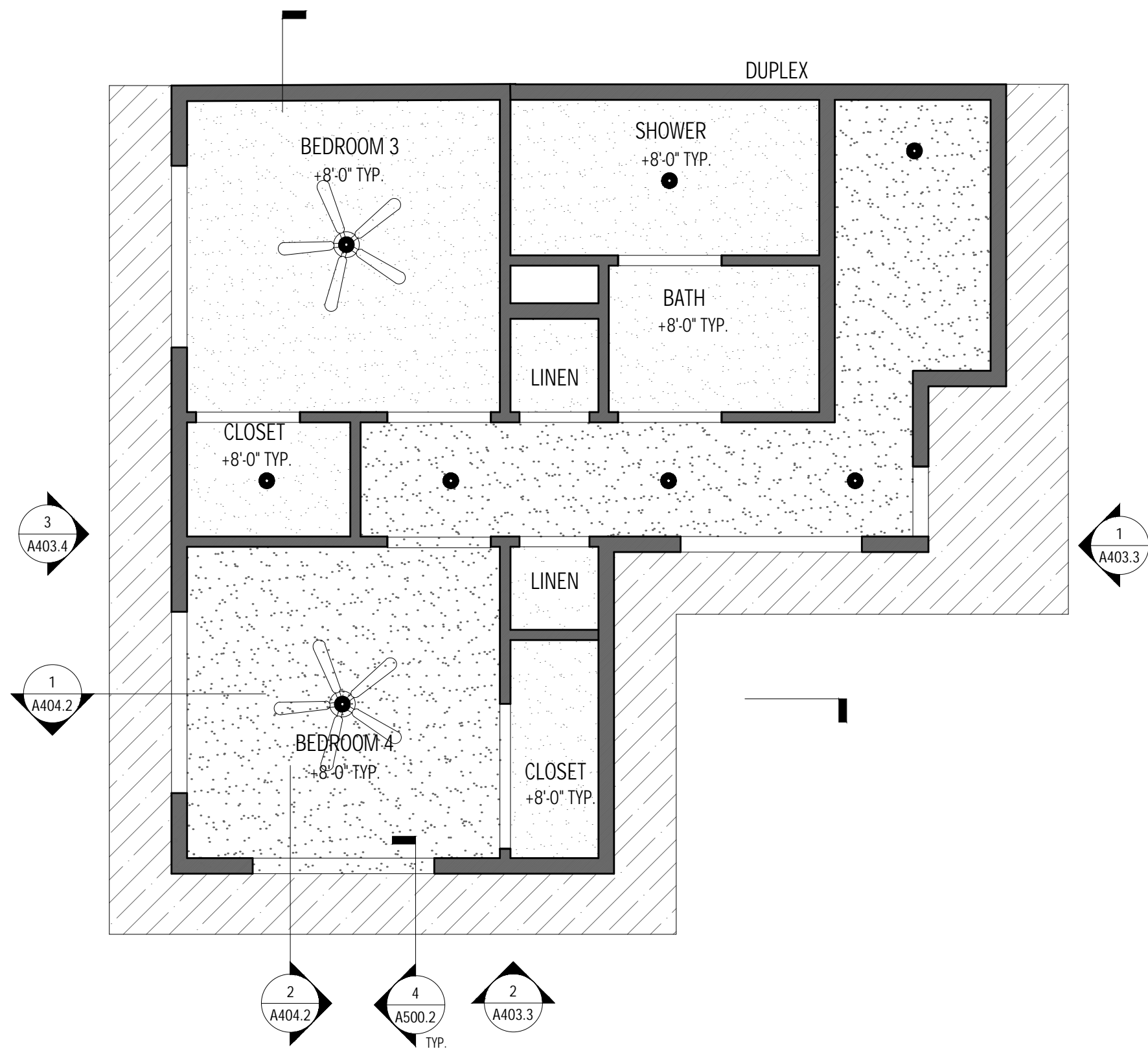
REVISION	DATE
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100% CDs	10/27/17

FOR CONSTRUCTION 10/27/17  
LOTS 21,22  
LOTS 25,26 (UNIVERSAL DESIGN)

SHEET

# A401.1

FOUR BEDROOM  
TYPE A RCP



REFLECTED CEILING PLAN 1

Scale: 1/4" = 1'-0"

- GENERAL NOTES (ORGANIZED BY CSI DIVISIONS)
1. GENERAL

1A. SEE AN4 FOR SPECIFICATIONS AND OTHER DRAWINGS FOR INFO NOT SHOWN

2. SITE WORK

2A. REFER TO CIVIL FOR BUILDING LOCATIONS AND ADDITIONAL INFORMATION

3. CONCRETE

3A. FOUNDATIONS TO BE SLAB ON GRADE OR RAISED CIP. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION AND LOCATIONS

3B. PRE-CAST SPLASHBLOCK

3C. VENEER STONE

3D. CONC. PATIO, BROOM FINISH

5. METALS

5A. GUTTER AND DOWNSPOUT

5B. 12" METAL ICE BREAK AT ALL DOWNSLOPES

5C. VENTED ALUMINUM SOFFIT W/INSECT/ FIRE SCREEN

5D. METAL ROOF OVER UNDERLAYMENT PER LEGEND

6. WOOD AND PLASTICS

6A. ALL WALL DIMENSIONS TO FACE OF STUD OR CENTER OF ROUGH OPENING, U.N.O. SEE ATS LEGEND FOR CLARIFICATIONS

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6G. ALL DOORS TO BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.

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6K. 1 1/2" WOOD HANDRAIL, CLEAR COAT GL. GUARDRAIL PER DETAIL 08/A5\_02

7. THERMAL AND WATER PROOFING PROTECTION

7A. INSULATION

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7E. TYVEK BUILDING WRAP

7F. Z FLASHING

7G. HARDI BOARD SIDING PER LEGEND

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7J. 5/4 4"PRE-FIN. HARDI BOARD PRE-MADE EXT. CORNER TRIM BOARD. STANDARD COLOR, TBD

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9D. GYPSUM BOARD

10. SPECIALTIES

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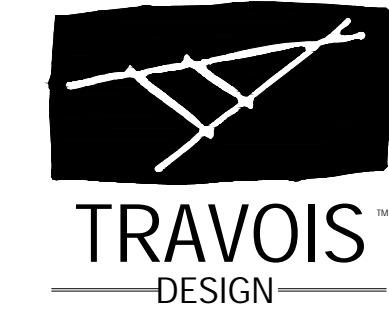
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Coyote Valley Homes I, LIHC

Redwood Valley, California

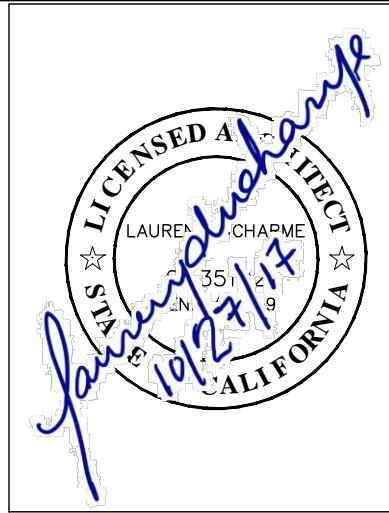
TRAVOIS ARCHITECTURE, PC

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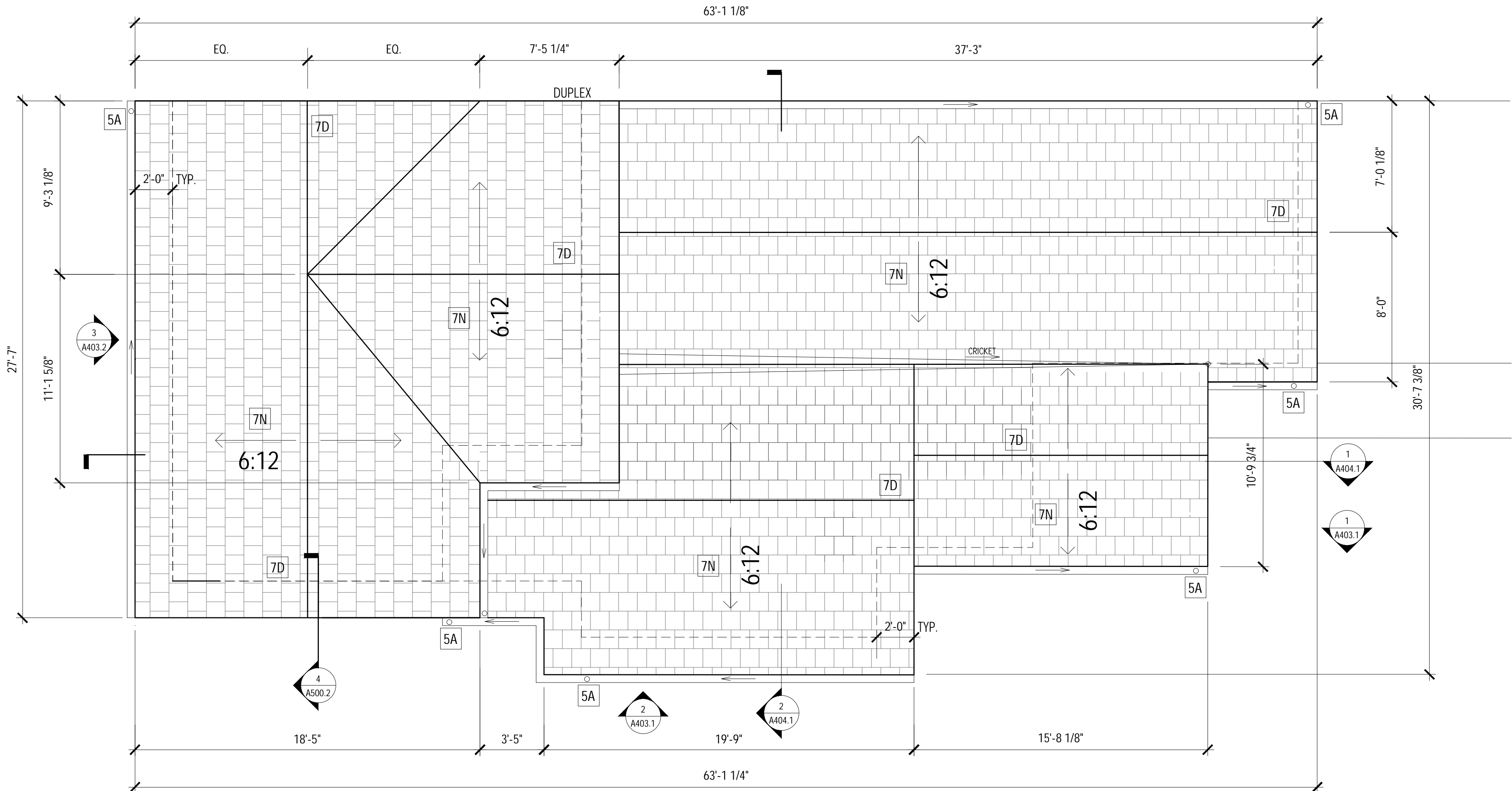
LOTS 10,11.

SHEET

A401.2

FOUR BEDROOM

TYPE B RCP



ROOF PLAN 1

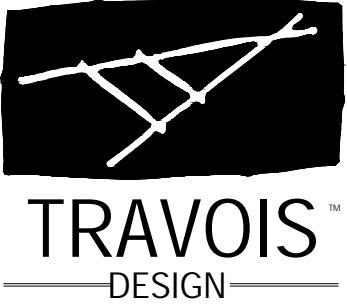
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LEGEND

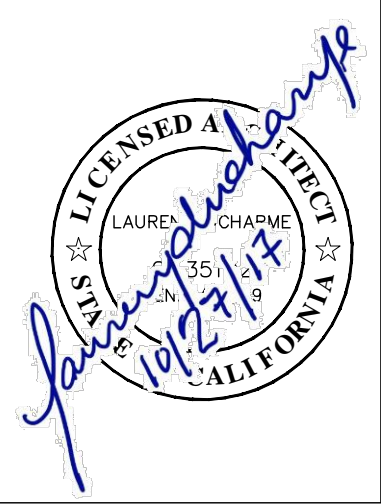
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|  | METAL ROOFING/SIDING. FACTORY FINISH FROM STANDARD COLORS, TBD BY OWNER               |
|  | COMPOSITION ROOF. STANDARD COLORS, TBD BY OWNER                                       |
|  | HARDI BOARD4 AND 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER             |
|  | HARDI BOARD, 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER                 |
|  | HARDI BOARD CEDAR SHAKES, RANDOM EDGE DOWN, STANDARD MFR. COLORS 1 AND 2 TBD BY OWNER |
|  | CORONADO VILLA STONE VENEER COLOR TBD BY OWNER  |



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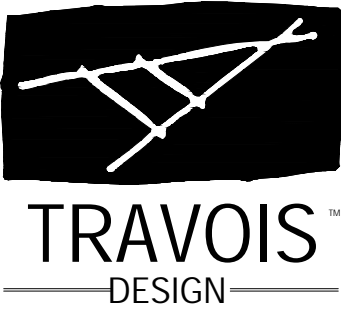
FOR CONSTRUCTION 10/27/17

LOTS 21,22  
LOTS 25,26 (UNIVERSAL DESIGN)

SHEET

A402.1

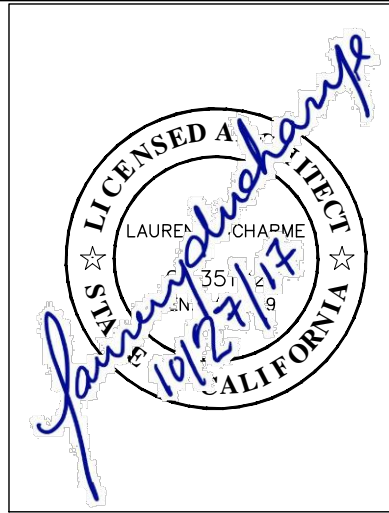
FOUR BEDROOM  
TYPE A ROOF PLAN



Coyote Valley Homes I, LIHTC

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FOR CONSTRUCTION 10/27/17

LOTS 10,11.

SHEET


A402.2

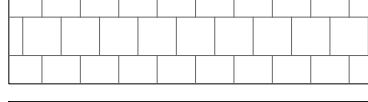
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TYPE B ROOF PLAN

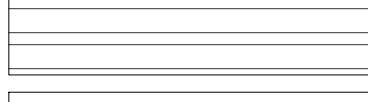
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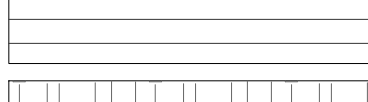
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6D. ALL PLUMB. & EXTERIOR WALLS SHALL BE 2X6 CONSTRUCTION U.N.O., WALL TYPES A AND C  
6E. COLUMNS PER STRUCTURAL  
6F. FINAL R.O. PER DOOR/WDW MFR  
6G. ALL DOORS TO BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.  
6H. CABINETS PER ENLARGED PLANS  
6J. COUNTERTOP  
6K. 1 1/2" WOOD HANDRAIL, CLEAR COAT GL. GUARDRAIL PER DETAIL 08/A5 02  
7. THERMAL AND WATER PROOFING PROTECTION  
7A. INSULATION  
7B. ANY REMOVABLE FORMWORK TO UTILIZE LOW-TOXICITY FORM RELEASE AGENTS  
7C. ALL WATERPROOFING SYSTEMS TO BE WATER BASED  
7D. RIDGE VENT  
7E. TYVEK BUILDING WRAP  
7F. Z FLASHING  
7G.HARDI BOARD SIDING PER LEGEND  
7H. 5/4 4" PRE-FIN. HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD  
7J. 5/4 4" PRE-FIN. HARDI BOARD PRE-MADE EXT. CORNER TRIM BOARD. STANDARD COLOR, TBD  
7K. PRE-FINISHED HARDI BOARD FASCIA, STANDARD COLOR, TBD  
7L. UNDERSLAB VAPOR BARRIER  
7M. 5/4 6" PRE-FINISHED HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD  
7N. COMP. ROOF SHINGLES OR TPO MEMBRANE, SEE LEGEND  
8. DOORS AND WINDOWS  
8A. SEE DOOR AND WINDOW SCHEDULE  
8B. 24"x48" DRYWALL ATTIC ACCESS SET ON CLEAT. EXACT LOCATION TBD IN FIELD AND COORDINATED WITH TRUSS LOCATIONS  
9. FINISHES  
9A. SEE FINISH SCHEDULE AND SPECIFICATIONS FOR ADD'L INFO  
9B. ALL MATERIALS TO WRAP TO NEAREST INSIDE CORNER OR TO TRANSITION AS SHOWN  
9C. ALL WALL SURFACES IN BATHS, RESTROOMS, LAUNDRY, UTILITY, KITCHEN & WET LOCATIONS, AREAS IMMEDIATELY ADJ. TO RANGE TOP & HOT WATER HEATER TO RECEIVE WATER RESIST. PURPLE GYP. BD.  
9D. GYPSUM BOARD  
10. SPECIALTIES  
10A. PROVIDE (5) TIERS OF 24" DEEP MDF SHELVING. PAINT TO MATCH WALLS, TYP.  
10B. WALL MOUNTED MIRROR ABOVE SINK AND COUNTER  
10C. PROVIDE (1) CHROME TOILET PAPER TOWEL HOLDER PER TOILET/STALL  
10D. PROVIDE (1) SOAP DISPENSER PER SINK  
10E. GRAB BARS WITH BACKING @ ADA UNITS. PROVIDE BACKING @ UNIVERSAL DESIGN UNITS  
10F. CLEARLY MARKED, ADDRESS NUMBERS  
10G. (2) TOWEL BARS  
10H. TOILET PARTITIONS  
10I. RECESSED MED. CAB. WITH MIRROR  
10J. PROVIDE NEW, 12" WHITE, WIRE SHELF. PROVIDE 1" SATIN NICKEL METAL ROD IN CLOSETS  
10K.MOVEABLE PARTITIONS  
11.EQUIPMENT (SEE AN4 AND MEP FOR ADDITIONAL INFO)  
11A. ALL APPLIANCES AND FIXTURES TO BE ENERGY STAR RATED PER AN SHEETS AND ADA COMPLIANT AT ADA UNITS PER SITE PLAN  
11B. FREE STANDING OVEN AND RANGE WITH HOOD, SIDE WALL VENT  
11C. DISHWASHER PER PLUMBING  
11D. REFRIGERATOR WITH SELF DEFROSTING FREEZER  
11E. WASHER/DRYER  
11F. FURNISHINGS SHOWN FOR REF. ONLY, NIC  
13. ACCESSIBLE ELEMENTS (SEE AN1-3 FOR ADDITIONAL INFO AND SITE PLAN FOR APPLICABLE UNITS)  
13A. 30"x42" CLEAR SPACE  
13B. 5' TURNING RADIUS OR 5' "T" SPACE  
13C. 30" WIDE WORKSPACE WITH ADJUSTABLE OR LOWERABLE COUNTERTOP SPACE PER 804.3/AN3  
13D. 18" PUSH AND 12" PULL CLEARANCE AT LATCH SIDE, TYP.  
13E. REMOVEABLE BASE CABINETS PER 804.3/AN3. CONTINUE FLOORING TO BACK WALL  
15/16. MEP  
15A. SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES  
15B. TOILET/URINAL PER PLUMBING  
15C. SINK PER PLUMBING  
15D. CONDENSER PER PLUMBING  
15E. WATER HEATER PER PLUMBING  
15F. HVAC PER MECH  
15G. TUB AND SURROUND OR ROLL-IN SHOWER AT FIRST FLOOR OF ADA UNITS PER PLUMBING: HOTEL SHOWER WAND AND GRAB BARS AT ADA UNITS, OFFSET CONTROLS @ ADA AND U.D. UNITS  
15H. SEE ELECTRICAL PLANS FOR ADDITIONAL REFERENCE  
15I. DRINKING FOUNTAINS PER PUMBING


LEGEND


- 

METAL ROOFING/SIDING. FACTORY FINISH FROM STANDARD COLORS, TBD BY OWNER
- 

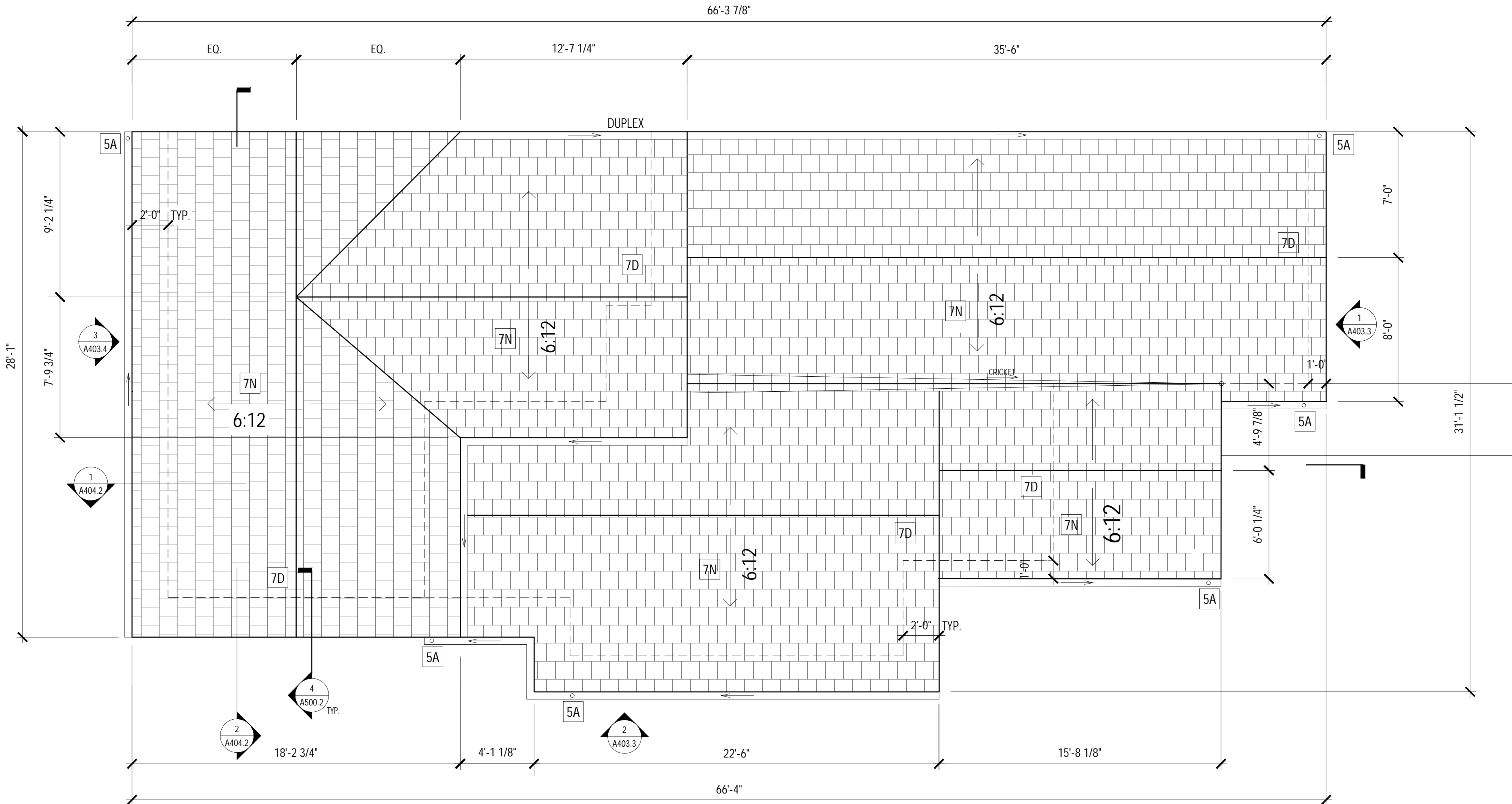
COMPOSITION ROOF. STANDARD COLORS, TBD BY OWNER
- 

HARDI BOARD4 AND 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER
- 

HARDI BOARD, 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER
- 

HARDI BOARD CEDAR SHAKES, RANDOM EDGE DOWN, STANDARD MFR. COLORS 1 AND 2 TBD BY OWNER
- 

CORONADO VILLA STONE VENEER COLOR TBD BY OWNER



ROOF PLAN

Scale: 1/4" = 1'-0"

1



LAUREN CHAPME  
35  
10/27/17  
CALIFORNIA

FOR CONSTRUCTION 10/27/17  
 LOTS 21,22  
 LOTS 25,26 (UNIVERSAL  
 DESIGN)

# A403.1

## FOUR BEDROOM TYPE A ELEVATIONS

GENERAL

1A. SEE AN4 FOR SPECIFICATIONS AND OTHER DRAWINGS FOR INFO NOT SHOWN

2. SITE WORK

3A. REFER TO CIVIL FOR SPECIFICATIONS AND ADDITIONAL INFORMATION

3. CONCRETE

4A. FOUNDATIONS TO BE SLAB ON GRADE OR RAISED CIP. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION AND LOCATIONS

4B. PRE-CAST SPLASHBLOCK

4C. VENEER STONE

4D. CONC. PATIO, BROOM FINISH

5. METALS

5A. GUTTER AND DOWNSPOUT

5B. 12" METAL ICE BREAK AT ALL DOWNSLOPES

5C. VENTED ALUMINUM SOFFIT W/INSECT/ FIRE SCREEN

5D. METAL ROOF OVER UNDERLAYMENT PER LEGEND

5E. METAL PANEL

6. WOOD AND PLASTICS

6A. ALL WALL DIMENSIONS TO FACE OF STUD OR CENTER OF ROUGH OPENING, U.N.O. SEE ATS LEGEND FOR CLARIFICATIONS

6B. SEE S SHEETS FOR WALL FRAMING AND TYPES NOT SPECIFICALLY REFERENCED. ALL INTERIOR WALLS TYPE B, U.N.O.

6C. SEE ATS FOR TYP. WALL TYPES

6D. ALL PLUMB. & EXTERIOR WALLS SHALL BE 2X6 CONSTRUCTION U.N.O., WALL TYPES A AND C

6E. COLUMNS PER STRUCTURAL

6F. FINAL R.O. PER DOOR/WDW MFR

6G. ALL DOORS TO BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.

6H. CABINETS PER ENLARGED PLANS

6J. COUNTERTOP

6K. 1/2" WOOD HANDRAIL, CLEAR COAT GL. GUARDRAIL PER DETAIL 08/A5 02

7. THERMAL AND WATER PROOFING PROTECTION

7A. INSULATION

7B. ANY REMOVABLE FORMWORK TO UTILIZE LOW-TOXICITY FORM RELEASE AGENTS

7C. ALL WATERPROOFING SYSTEMS TO BE WATER BASED

7D. RIDGE VENT

7E. TYVEK BUILDING WRAP

7F. Z FLASHING

7G. HARDI BOARD SIDING PER LEGEND

7H. 5/4 4" PRE-FIN. HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD

7J. 5/4 4" PRE-FIN. HARDI BOARD PER-MADE EXT. CORNER TRIM BOARD. STANDARD COLOR, TBD

7K. PRE-FINISHED HARDI BOARD FASCIA, STANDARD COLOR, TBD

7L. UNDERSLAB VAPOR BARRIER

7M. 5/4 6" PRE-FINISHED HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD

7N. COMP. ROOF SHINGLES OR TPO MEMBRANE, SEE LEGEND

8. DOORS AND WINDOWS

8A. SEE DOOR AND WINDOW SCHEDULE

8B. 24"x48" DRYWALL ATTIC ACCESS SET ON CLEAT. EXACT LOCATION TBD IN FIELD AND COORDINATED WITH TRUSS LOCATIONS

9. FINISHES

9A. SEE FINISH SCHEDULE AND SPECIFICATIONS FOR ADD'L INFO

9B. ALL MATERIALS TO WRAP TO NEAREST INSIDE CORNER OR TO TRANSITION AS SHOWN

9C. ALL WALL SURFACES IN BATHS, RESTROOMS, LAUNDRY, UTILITY, KITCHEN & WET LOCATIONS, AREAS IMMEDIATELY ADJ. TO RANGE TOP & HOT WATER HEATER TO RECEIVE WATER RESIST. PURPLE GYP. BD.

9D. GYPSUM BOARD

10. SPECIALTIES

10A. PROVIDE (5) TIERS OF 24" DEEP MDF SHELVING. PAINT TO MATCH WALLS, TYP.

10B. WALL MOUNTED MIRROR ABOVE SINK AND COUNTER

10C. PROVIDE (1) CHROME TOILET PAPER TOWEL HOLDER PER TOILET/STALL

10D. PROVIDE (1) SOAP DISPENSER PER SINK.

10E. GRAB BARS WITH BACKING @ ADA UNITS. PROVIDE BACKING @ UNIVERSAL DESIGN UNITS

10F. CLEARLY MARKED, ADDRESS NUMBERS

10G. (2) TOWEL BARS

10H. TOILET PARTITIONS

10J. RECESSED MED. CAB. WITH MIRROR

10J1. PROVIDE NEW, 12" WHITE, WIRE SHELF. PROVIDE 1" SATIN NICKEL METAL ROD IN CLOSETS

10K. MOVEABLE PARTITIONS

11. EQUIPMENT (SEE AN4 AND MEP FOR ADDITIONAL INFO)

11A. ALL APPLIANCES AND FIXTURES TO BE ENERGY STAR RATED PER AN SHEETS AND ADA COMPLIANT AT ADA UNITS PER SITE PLAN

11B. FREE STANDING OVEN AND RANGE WITH HOOD, SIDE WALL VENT

11C. DISHWASHER PER PLUMBING

11D. REFRIGERATOR WITH SELF DEFROSTING FREEZER

11E. WASHER/DRYER

11F. FURNISHINGS SHOWN FOR REF. ONLY, NIC

13. ACCESSIBLE ELEMENTS (SEE AN1-3 FOR ADDITIONAL INFO AND SITE PLAN FOR APPLICABLE UNITS)

3A. 30"x42" CLEAR SPACE

3B. 5" TURNING RADIUS OR 5' "T" SPACE

3C. 30" WIDE WORKSPACE WITH ADJUSTABLE OR LOWERABLE COUNTERTOP SPACE PER 804.3/AN3

3D. 18" PUSH AND 12" PULL CLEARANCE AT LATCH SIDE, TYP.

3E. REMOVABLE BASE CABINETS PER 804.3/AN3. CONTINUE FLOORING TO BACK WALL

15/16. MEP

15A. SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES

15B. TOILET/URINAL PER PLUMBING

15C. SINK PER PLUMBING

15D. CONDENSER PER PLUMBING

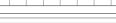
15E. WATER HEATER PER PLUMBING

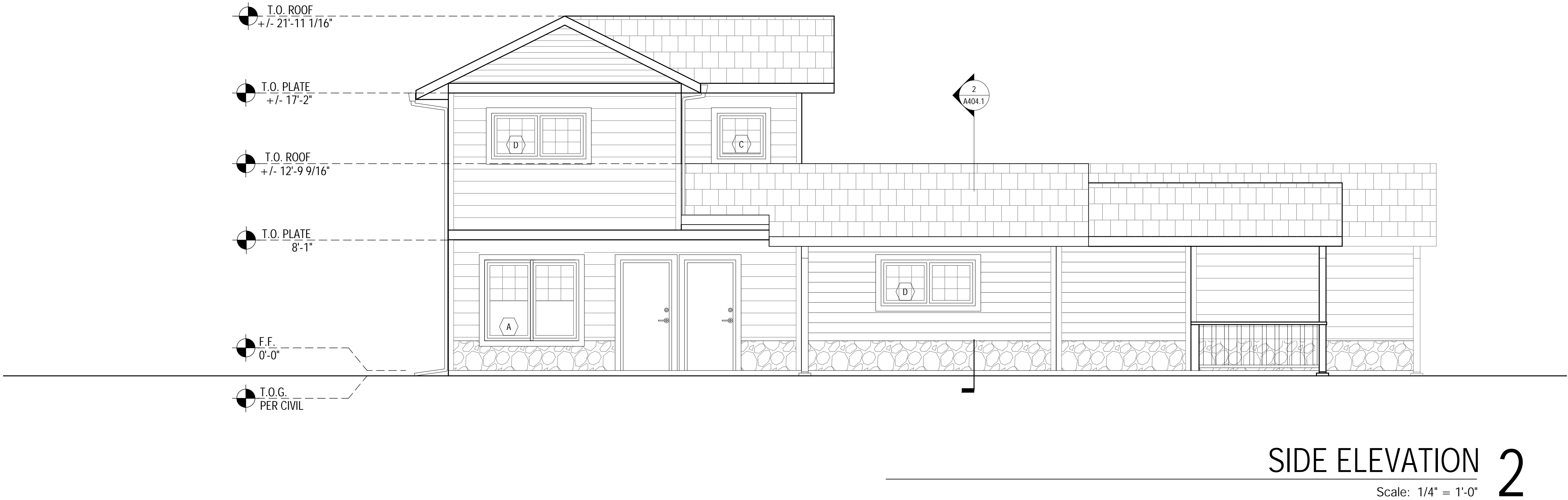
15F. HVAC PER MECH

15G. TUB AND SURROUND OR ROLL-IN SHOWER AT FIRST FLOOR OF ADA UNITS PER PLUMBING; HOTEL SHOWER WAND AND GRAB BARS AT ADA UNITS, OFFSET CONTROLS @ ADA AND U.D. UNITS

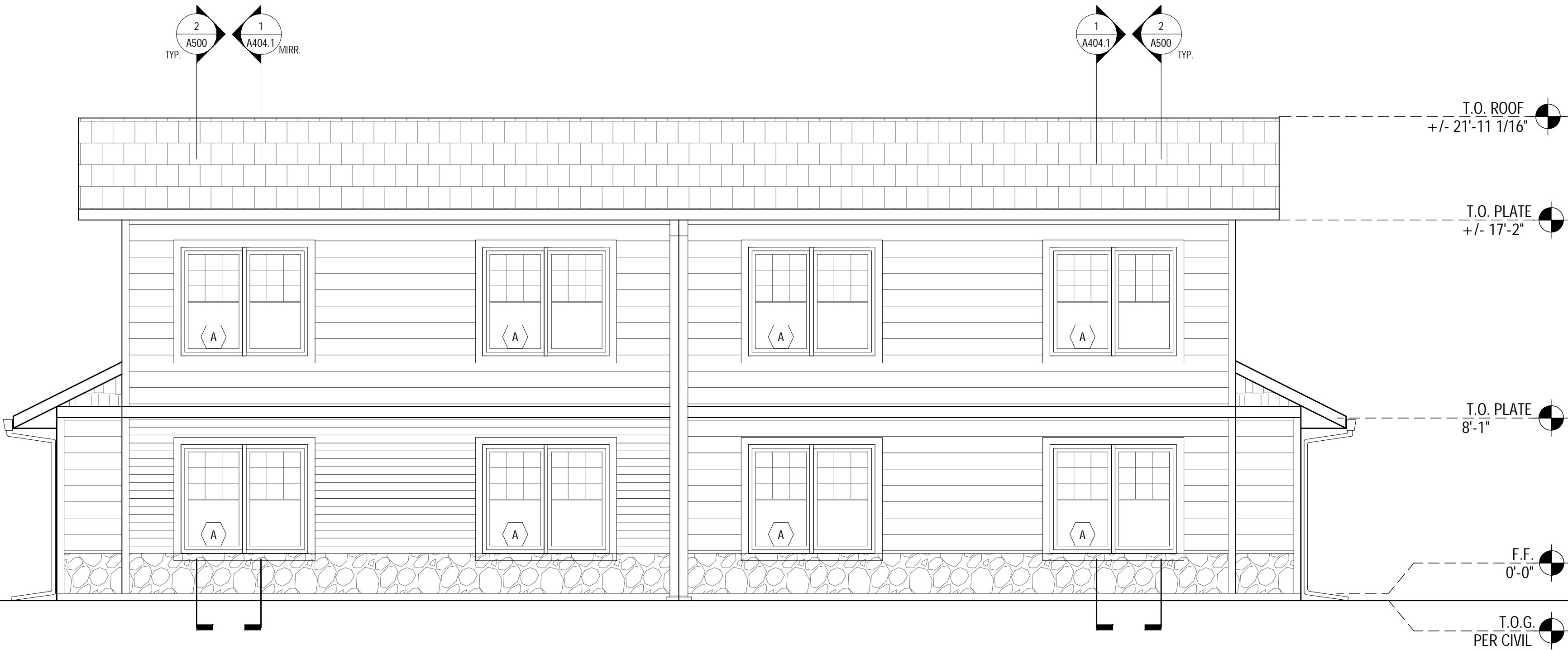
15H. SEE ELECTRICAL PLANS FOR ADDITIONAL REFERENCE

15I. DRINKING FOUNTAINS PER PLUMBING

	METAL ROOFING/SIDING. FACTORY FINISH FROM STANDARD COLORS, TBD BY OWNER
	COMPOSITION ROOF. STANDARD COLORS, TBD BY OWNER
	HARDI BOARD 4 AND 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER
	HARDI BOARD, 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER
	HARDI BOARD CEDAR SHAKES, RANDOM EDGE DOWN. STANDARD MFR. COLORS AND 2 TBD BY OWNER
	CORONADO VILLA STONE VENEER COLOR TBD BY OWNER



## LEGEND



REAR ELEVATION


Scale: 1/4" = 1'-0"

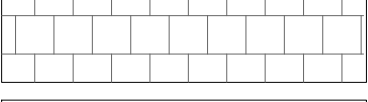
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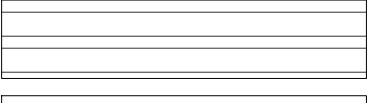
GENERAL NOTES (ORGANIZED BY CSI DIVISIONS)

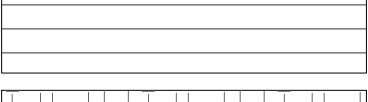
1. GENERAL  
1A. SEE AN4 FOR SPECIFICATIONS AND OTHER DRAWINGS FOR INFO NOT SHOWN  
2. SITE WORK  
2A. REFER TO CIVIL FOR BUILDING LOCATIONS AND ADDITIONAL INFORMATION  
3. CONCRETE  
3A. FOUNDATIONS TO BE SLAB ON GRADE OR RAISED CIP. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION AND LOCATIONS  
3B. PRE-CAST SPLASHBLOCK  
3C. VENEER STONE  
3D. CONC. PATIO, BROOM FINISH  
5. METALS  
5A. GUTTER AND DOWNSPOUT  
5B. 12" METAL ICE BREAK AT ALL DOWNSLOPES  
5C. VENTED ALUMINUM SOFFIT WINSECT/ FIRE SCREEN  
5D. METAL ROOF OVER UNDERLAYMENT PER LEGEND  
5E. METAL PANEL  
6. WOOD AND PLASTICS  
6A. ALL WALL DIMENSIONS TO FACE OF STUD OR CENTER OF ROUGH OPENING, U.N.O. SEE ATS LEGEND FOR CLARIFICATIONS  
6B. SEE S SHEETS FOR WALL FRAMING AND TYPES NOT SPECIFICALLY REFERENCED. ALL INTERIOR WALLS TYPE B, U.N.O.  
6C. SEE ATS FOR TYP. WALL TYPES  
6D. ALL PLUMB. & EXTERIOR WALLS SHALL BE 2X6 CONSTRUCTION U.N.O., WALL TYPES A AND C  
6E. COLUMNS PER STRUCTURAL  
6F. FINAL R.O. PER DOOR/WDW MFR  
6G. ALL DOORS TO BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.  
6H. CABINETS PER ENLARGED PLANS  
6J. COUNTERTOP  
6K. 1 1/2" WOOD HANDRAIL, CLEAR COAT GL. GUARDRAIL PER DETAIL 08/A5 02  
7. THERMAL AND WATER PROOFING PROTECTION  
7A. INSULATION  
7B. ANY REMOVABLE FORMWORK TO UTILIZE LOW-TOXICITY FORM RELEASE AGENTS  
7C. ALL WATERPROOFING SYSTEMS TO BE WATER BASED  
7D. RIDGE VENT  
7E. TYVEK BUILDING WRAP  
7F. Z FLASHING  
7G.HARDI BOARD SIDING PER LEGEND  
7H. 5/4 4" PRE-FIN. HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD  
7J. 5/4 4" PRE-FIN. HARDI BOARD PRE-MADE EXT. CORNER TRIM BOARD. STANDARD COLOR, TBD  
7K. PRE-FINISHED HARDI BOARD FASCIA, STANDARD COLOR, TBD  
7L. UNDERSLAB VAPOR BARRIER  
7M. 5/4 6" PRE-FINISHED HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD  
7N. COMP. ROOF SHINGLES OR TPO MEMBRANE, SEE LEGEND  
8. DOORS AND WINDOWS  
8A. SEE DOOR AND WINDOW SCHEDULE  
8B. 24"X48" DRYWALL ATTIC ACCESS SET ON CLEAT. EXACT LOCATION TBD IN FIELD AND COORDINATED WITH TRUSS LOCATIONS  
9. FINISHES  
9A. SEE FINISH SCHEDULE AND SPECIFICATIONS FOR ADD'L INFO  
9B. ALL MATERIALS TO WRAP TO NEAREST INSIDE CORNER OR TO TRANSITION AS SHOWN  
9C. ALL WALL SURFACES IN BATHS, RESTROOMS, LAUNDRY, UTILITY, KITCHEN & WET LOCATIONS, AREAS IMMEDIATELY ADJ. TO RANGE TOP & HOT WATER HEATER TO RECEIVE WATER RESIST. PURPLE GYP. BD.  
9D. GYPSUM BOARD  
10. SPECIALTIES  
10A. PROVIDE (5) TIERS OF 24" DEEP MDF SHELVING. PAINT TO MATCH WALLS, TYP.  
10B. WALL MOUNTED MIRROR ABOVE SINK AND COUNTER  
10C. PROVIDE (1) CHROME TOILET PAPER TOWEL HOLDER PER TOILET/STALL  
10D. PROVIDE (1) SOAP DISPENSER PER SINK.  
10E. GRAB BARS WITH BACKING @ ADA UNITS. PROVIDE BACKING @ UNIVERSAL DESIGN UNITS  
10F. CLEARLY MARKED, ADDRESS NUMBERS  
10G. (2) TOWEL BARS  
10H. TOILET PARTITIONS  
10I. RECESSED MED. CAB. WITH MIRROR  
10J. PROVIDE NEW, 12" WHITE, WIRE SHELF. PROVIDE 1" SATIN NICKEL METAL ROD IN CLOSETS  
10K.MOVEABLE PARTITIONS  
11.EQUIPMENT (SEE AN4 AND MEP FOR ADDITIONAL INFO)  
11A. ALL APPLIANCES AND FIXTURES TO BE ENERGY STAR RATED PER AN SHEETS AND ADA COMPLIANT AT ADA UNITS PER SITE PLAN  
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11C. DISHWASHER PER PLUMBING  
11D. REFRIGERATOR WITH SELF DEFROSTING FREEZER  
11E. WASHER/DRYER  
11F. FURNISHINGS SHOWN FOR REF. ONLY, NIC  
13. ACCESSIBLE ELEMENTS (SEE AN1-3 FOR ADDITIONAL INFO AND SITE PLAN FOR APPLICABLE UNITS)  
13A. 30"X42" CLEAR SPACE  
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13C. 30" WIDE WORKSPACE WITH ADJUSTABLE OR LOWERABLE COUNTERTOP SPACE PER 804.3/AN3  
13D. 18" PUSH AND 12" PULL CLEARANCE AT LATCH SIDE, TYP.  
13E. REMOVEABLE BASE CABINETS PER 804.3/AN3. CONTINUE FLOORING TO BACK WALL  
15/16. MEP  
15A. SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES  
15B. TOILET/JURINAL PER PLUMBING  
15C. SINK PER PLUMBING  
15D. CONDENSER PER PLUMBING  
15E. WATER HEATER PER PLUMBING  
15F. HVAC PER MECH  
15G. TUB AND SURROUND OR ROLL-IN SHOWER AT FIRST FLOOR OF ADA UNITS PER PLUMBING: HOTEL SHOWER WAND AND GRAB BARS AT ADA UNITS, OFFSET CONTROLS @ ADA AND U.D. UNITS  
15H. SEE ELECTRICAL PLANS FOR ADDITIONAL REFERENCE  
15I. DRINKING FOUNTAINS PER PUMBING


LEGEND

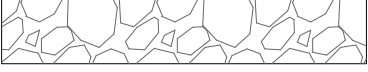
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METAL ROOFING/SIDING. FACTORY FINISH FROM STANDARD COLORS, TBD BY OWNER
- 

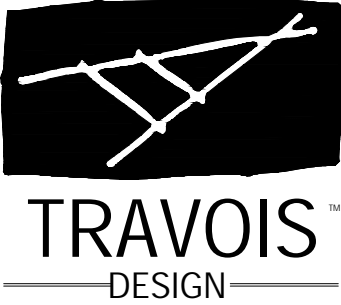
COMPOSITION ROOF, STANDARD COLORS, TBD BY OWNER
- 

HARDI BOARD4 AND 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER
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HARDI BOARD, 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER
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HARDI BOARD CEDAR SHAKES, RANDOM EDGE DOWN, STANDARD MFR. COLORS 1 AND 2 TBD BY OWNER
- 

CORONADO VILLA STONE VENEER COLOR TBD BY OWNER



Coyote Valley Homes I, LHTC  
Redwood Valley, California

TRAVOIS ARCHITECTURE, PC  
310 W. 19TH TERRACE  
KANSAS CITY, MO 64108  
P 816.994.8970  
F 816.994.8974



REVISION	DATE
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25% CDs	06/30/17
40% CDs	07/28/17
75% CDs	09/22/17
90% CDs	10/16/17
100% CDs	10/27/17

FOR CONSTRUCTION 10/27/17

LOTS 21,22

LOTS 25,26 (UNIVERSAL DESIGN)

SHEET

A403.2

FOUR BEDROOM TYPE A ELEVATIONS



FOR CONSTRUCTION 10/27/17

SHEET

## FOUR BEDROOM TYPE B ELEVATIONS

GENERAL

1A. SEE AN4 FOR SPECIFICATIONS AND OTHER DRAWINGS FOR INFO NOT SHOWN

2. SITE WORK

2A. REFER TO CIVIL FOR BUILDING LOCATIONS AND ADDITIONAL INFORMATION

3. CONCRETE

3A. FOUNDATIONS TO BE SLAB ON GRADE OR RAISED CIP. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION AND LOCATIONS

3B. PRE-CAST SPLASHBLOCK

3C. VENEER STONE

3D. CONC. PATIO, BROOM FINISH

5. METALS

5A. GUTTER AND DOWNSPOUT

5B. 12" METAL ICE BREAK AT ALL DOWNSLOPES

5C. VENTED ALUMINUM SOFFIT W/INSECT/ FIRE SCREEN

5D. METAL ROOF OVER UNDERLAYMENT PER LEGEND

5E. METAL PANEL

6. WOOD AND PLASTICS

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6B. SEE S SHEETS FOR WALL FINISHING AND TYPES NOT SPECIFICALLY REFERENCED. ALL INTERIOR WALL TYPE B, U.N.O.

6C. SEE ATS FOR TYP. WALL TYPES

6D. ALL PLUMB. & EXTERIOR WALLS SHALL BE 2X6 CONSTRUCTION U.N.O., WALL TYPES A AND C

6E. COLUMNS PER STRUCTURAL

6F. FINAL R.O. PER DOOR/WDW MFR

6G. ALL DOORS TO BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.

6H. CABINETS PER ENLARGED PLANS

6J. COUNTERTOP

6K. 1 1/2" WOOD HANDRAIL, CLEAR COAT GL. GUARDRAIL PER DETAIL 08/A5 02

7. THERMAL AND WATER PROOFING PROTECTION

7A. INSULATION

7B. ANY REMOVABLE FORMWORK TO UTILIZE LOW-TOXICITY FORM RELEASE AGENTS

7C. ALL WATERPROOFING SYSTEMS TO BE WATER BASED

7D. RIDGE VENT

7E. TYVEK BUILDING WRAP

7F. Z FLASHING

7G. HARDI BOARD SIDING PER LEGEND

7H. 5/4 4" PRE-FIN. HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD

7J. 5/4 4" PRE-FIN. HARDI BOARD PER-MADE EXT. CORNER TRIM BOARD. STANDARD COLOR, TBD

7K. PRE-FINISHED HARDI BOARD FASCIA, STANDARD COLOR, TBD

7L. UNDERSLAB VAPOR BARRIER

7M. 5/4 6" PRE-FINISHED HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD

7N. COMP. ROOF SHINGLES OR TPO MEMBRANE, SEE LEGEND

8. DOORS AND WINDOWS

8A. SEE DOOR AND WINDOW SCHEDULE

8B. 24"x48" DRYWALL ATTIC ACCESS SET ON CLEAT. EXACT LOCATION TBD IN FIELD AND COORDINATED WITH TRUSS LOCATIONS

9. FINISHES

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9B. ALL MATERIALS TO WRAP TO NEAREST INSIDE CORNER OR TO TRANSITION AS SHOWN

9C. ALL WALL SURFACES IN BATHS, RESTROOMS, LAUNDRY, UTILITY, KITCHEN & WET LOCATIONS, AREAS IMMEDIATELY ADJ. TO RANGE TOP & HOT WATER HEATER TO RECEIVE WATER RESIST. PURPLE GYP. BD.

9D. GYPSUM BOARD

10. SPECIALTIES

10A. PROVIDE (5) TIERS OF 24" DEEP MDF SHELVING. PAINT TO MATCH WALLS, TYP.

10B. WALL MOUNTED MIRROR ABOVE SINK AND COUNTER

10C. PROVIDE (1) CHROME TOILET PAPER TOWEL HOLDER PER TOILET/STALL

10D. PROVIDE (1) SOAP DISPENSER PER SINK.

10E. GRAB BARS WITH BACKING @ ADA UNITS. PROVIDE BACKING @ UNIVERSAL DESIGN UNITS

10F. CLEARLY MARKED, ADDRESS NUMBERS

10G. (2) TOWEL BARS

10H. TOILET PARTITIONS

10I. RECESSED MED. CAB. WITH MIRROR

10J. PROVIDE NEW, 12" WHITE, WIRE SHELF. PROVIDE 1" SATIN NICKEL METAL ROD IN CLOSETS

10K. MOVEABLE PARTITIONS

11. EQUIPMENT (SEE AN4 AND MEP FOR ADDITIONAL INFO)

11A. ALL APPLIANCES AND FIXTURES TO BE ENERGY STAR RATED PER AN SHEETS AND ADA COMPLIANT AT ADA UNITS PER SITE PLAN

11B. FREE STANDING OVEN AND RANGE WITH HOOD, SIDE WALL VENT

11C. DISHWASHER PER PLUMBING

11D. REFRIGERATOR WITH SELF DEFROSTING FREEZER

11E. WASHER/DRYER

11F. FURNISHINGS SHOWN FOR REF. ONLY, NIC

13. ACCESSIBLE ELEMENTS (SEE AN1-3 FOR ADDITIONAL INFO AND SITE PLAN FOR APPLICABLE UNITS)

13A. 30"x42" CLEAR SPACE

13B. 5" TURNING RADIUS OR 5" T" SPACE

13C. 30" WIDE WORKSPACE WITH ADJUSTABLE OR LOWERABLE COUNTERTOP SPACE PER 804.3/AN3

13D. 18" PUSH AND 12" PULL CLEARANCE AT LATCH SIDE, TYP.

13E. REMOVEABLE BASE CABINETS PER 804.3/AN3. CONTINUE FLOORING TO BACK WALL

15/16. MEP

15A. SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES

15B. TOILET/URINAL PER PLUMBING

15C. SINK PER PLUMBING

15D. CONDENSER PER PLUMBING

15E. WATER HEATER PER PLUMBING

15F. HVAC PER MECH

15G. TUB AND SURROUND OR ROLL-IN SHOWER AT FIRST FLOOR OF ADA UNITS PER PLUMBING: HOTEL SHOWER WAND AND GRAB BARS AT ADA UNITS, OFFSET CONTROLS @ ADA AND U.D. UNITS

15H. SEE ELECTRICAL PLANS FOR ADDITIONAL REFERENCE

15I. DRINKING FOUNTAINS PER PUMBING

	METAL ROOFING/SIDING, FACTORY FINISH FROM STANDARD COLORS, TBD BY OWNER
	COMPOSITION ROOF, STANDARD COLORS, TBD BY OWNER
	HARDI BOARD 4 AND 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER
	HARDI BOARD, 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER
	HARDI BOARD CEDAR SHAKES, RANDOM EDGE DOWN, STANDARD MFR. COLORS AND 2 TBD BY OWNER
	CORONADO VILLA STONE VENEER COLOR TBD BY OWNER



# SIDE ELEVATION 2

Scale: 1/4" = 1'-0"



REAR ELEVATION

Scale: 1/4" = 1'-0"

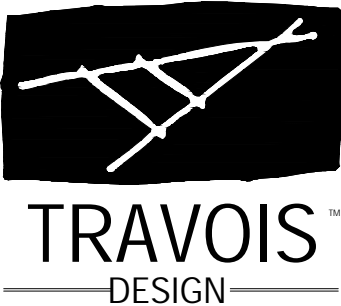
3

GENERAL NOTES (ORGANIZED BY CSI DIVISIONS)

- GENERAL
- 1A. SEE AN4 FOR SPECIFICATIONS AND OTHER DRAWINGS FOR INFO NOT SHOWN
- SITE WORK
- 2A. REFER TO CIVIL FOR BUILDING LOCATIONS AND ADDITIONAL INFORMATION
- CONCRETE
- 3A. FOUNDATIONS TO BE SLAB ON GRADE OR RAISED CIP. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION AND LOCATIONS
- 3B. PRE-CAST SPLASHBLOCK
- 3C. VENEER STONE
- 3D. CONC. PATIO, BROOM FINISH
- METALS
- 5A. GUTTER AND DOWNSPOUT
- 5B. 12" METAL ICE BREAK AT ALL DOWNSLOPES
- 5C. VENTED ALUMINUM SOFFIT WINSECT/ FIRE SCREEN
- 5D. METAL ROOF OVER UNDERLAYMENT PER LEGEND
- METAL PANEL
- WOOD AND PLASTICS
- 6A. ALL WALL DIMENSIONS TO FACE OF STUD OR CENTER OF ROUGH OPENING, U.N.O. SEE ATS LEGEND FOR CLARIFICATIONS
- 6B. SEE S SHEETS FOR WALL FRAMING AND TYPES NOT SPECIFICALLY REFERENCED. ALL INTERIOR WALLS TYPE B, U.N.O.
- 6C. SEE ATS FOR TYP. WALL TYPES
- 6D. ALL PLUMB. & EXTERIOR WALLS SHALL BE 2X6 CONSTRUCTION U.N.O., WALL TYPES A AND C
- 6E. COLUMNS PER STRUCTURAL
- 6F. FINAL R.O. PER DOOR/WDW MFR
- 6G. ALL DOORS TO BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.
- 6H. CABINETS PER ENLARGED PLANS
- COUNTERTOP
- 6K. 1 1/2" WOOD HANDRAIL, CLEAR COAT GL. GUARDRAIL PER DETAIL 08/A5 02
- THERMAL AND WATER PROOFING PROTECTION
- INSULATION
- 7B. ANY REMOVABLE FORMWORK TO UTILIZE LOW-TOXICITY FORM RELEASE AGENTS
- 7C. ALL WATERPROOFING SYSTEMS TO BE WATER BASED
- RIDGE VENT
- 7E. TYVEK BUILDING WRAP
- 7F. Z FLASHING
- 7G.HARDI BOARD SIDING PER LEGEND
- 7H. 5/4 4" PRE-FIN. HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD
- 7J. 5/4 4" PRE-FIN. HARDI BOARD PRE-MADE EXT. CORNER TRIM BOARD. STANDARD COLOR, TBD
- 7K. PRE-FINISHED HARDI BOARD FASCIA, STANDARD COLOR, TBD
- 7L. UNDERSLAB VAPOR BARRIER
- 7M. 5/4 6" PRE-FINISHED HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD
- 7N. COMP. ROOF SHINGLES OR TPO MEMBRANE, SEE LEGEND
- DOORS AND WINDOWS
- 8A. SEE DOOR AND WINDOW SCHEDULE
- 8B. 24"X48" DRYWALL ATTIC ACCESS SET ON CLEAT. EXACT LOCATION TBD IN FIELD AND COORDINATED WITH TRUSS LOCATIONS
- FINISHES
- 9A. SEE FINISH SCHEDULE AND SPECIFICATIONS FOR ADD'L INFO
- 9B. ALL MATERIALS TO WRAP TO NEAREST INSIDE CORNER OR TO TRANSITION AS SHOWN
- 9C. ALL WALL SURFACES IN BATHS, RESTROOMS, LAUNDRY, UTILITY, KITCHEN & WET LOCATIONS, AREAS IMMEDIATELY ADJ. TO RANGE TOP & HOT WATER HEATER TO RECEIVE WATER RESIST. PURPLE GYP. BD.
- GYPSUM BOARD
- SPECIALTIES
- 10A. PROVIDE (5) TIERS OF 24" DEEP MDF SHELVING. PAINT TO MATCH WALLS, TYP.
- 10B. WALL MOUNTED MIRROR ABOVE SINK AND COUNTER
- 10C. PROVIDE (1) CHROME TOILET PAPER TOWEL HOLDER PER TOILET/STALL
- 10D. PROVIDE (1) SOAP DISPENSER PER SINK.
- 10E. GRAB BARS WITH BACKING @ ADA UNITS. PROVIDE BACKING @ UNIVERSAL DESIGN UNITS
- 10F. CLEARLY MARKED, ADDRESS NUMBERS
- 10G. (2) TOWEL BARS
- 10H. TOILET PARTITIONS
- 10I. RECESSED MED. CAB. WITH MIRROR
- 10J. PROVIDE NEW, 12" WHITE, WIRE SHELF. PROVIDE 1" SATIN NICKEL METAL ROD IN CLOSETS
- MOVEABLE PARTITIONS
- EQUIPMENT (SEE AN4 AND MEP FOR ADDITIONAL INFO)
- 11A. ALL APPLIANCES AND FIXTURES TO BE ENERGY STAR RATED PER AN SHEETS AND ADA COMPLIANT AT ADA UNITS PER SITE PLAN
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- 13D. 18" PUSH AND 12" PULL CLEARANCE AT LATCH SIDE, TYP.
- 13E. REMOVEABLE BASE CABINETS PER 804.3/AN3. CONTINUE FLOORING TO BACK WALL
- 15/16. MEP
- 15A. SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES
- TOILET/URINAL PER PLUMBING
- SINK PER PLUMBING
- 15D. CONDENSER PER PLUMBING
- 15E. WATER HEATER PER PLUMBING
- 15F. HVAC PER MECH
- 15G. TUB AND SURROUND OR ROLL-IN SHOWER AT FIRST FLOOR OF ADA UNITS PER PLUMBING: HOTEL SHOWER WAND AND GRAB BARS AT ADA UNITS, OFFSET CONTROLS @ ADA AND U.D. UNITS
- 15H. SEE ELECTRICAL PLANS FOR ADDITIONAL REFERENCE
- 15I. DRINKING FOUNTAINS PER PUMBING

LEGEND

- |  |  |
|--|--|
|  | METAL ROOFING/SIDING. FACTORY FINISH FROM STANDARD COLORS, TBD BY OWNER                |
|  | COMPOSITION ROOF. STANDARD COLORS, TBD BY OWNER  |
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Coyote Valley Homes I, LHTC

Redwood Valley, California

TRAVOIS ARCHITECTURE, PC  
310 W. 19TH TERRACE  
KANSAS CITY, MO 64108  
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F 816.994.8974



REVISION	DATE
25% CDs	06/30/17
40% CDs	07/28/17
75% CDs	09/22/17
90% CDs	10/16/17
100% CDs	10/27/17

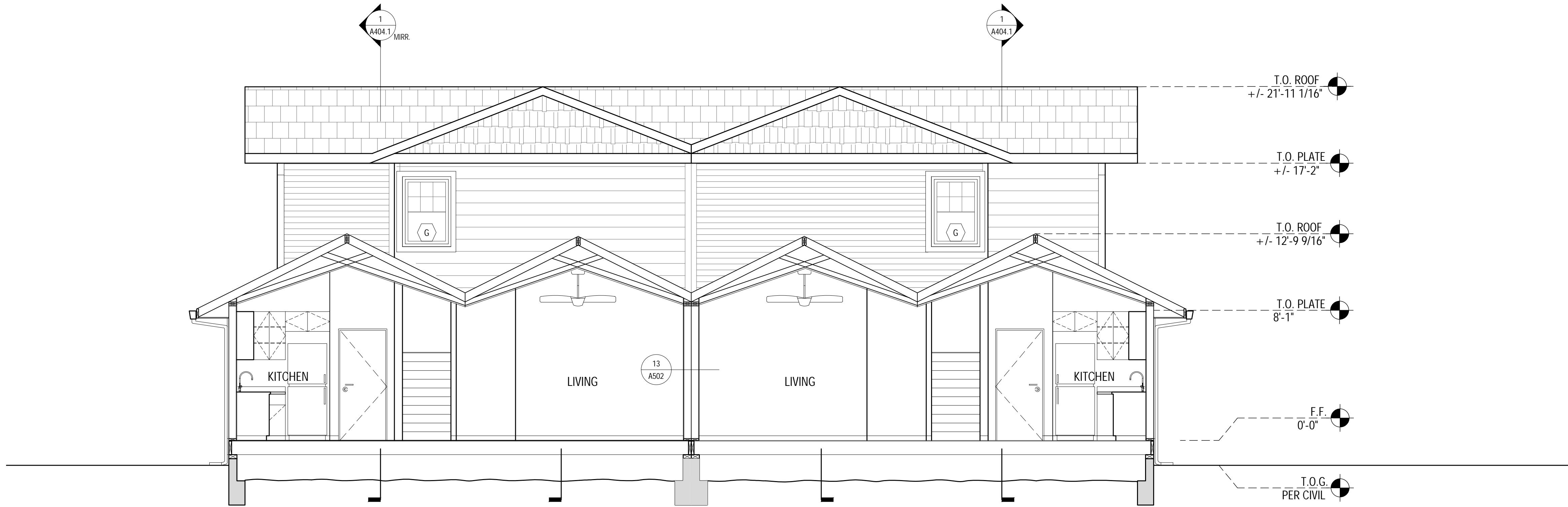
FOR CONSTRUCTION 10/27/17

LOTS 10,11

SHEET

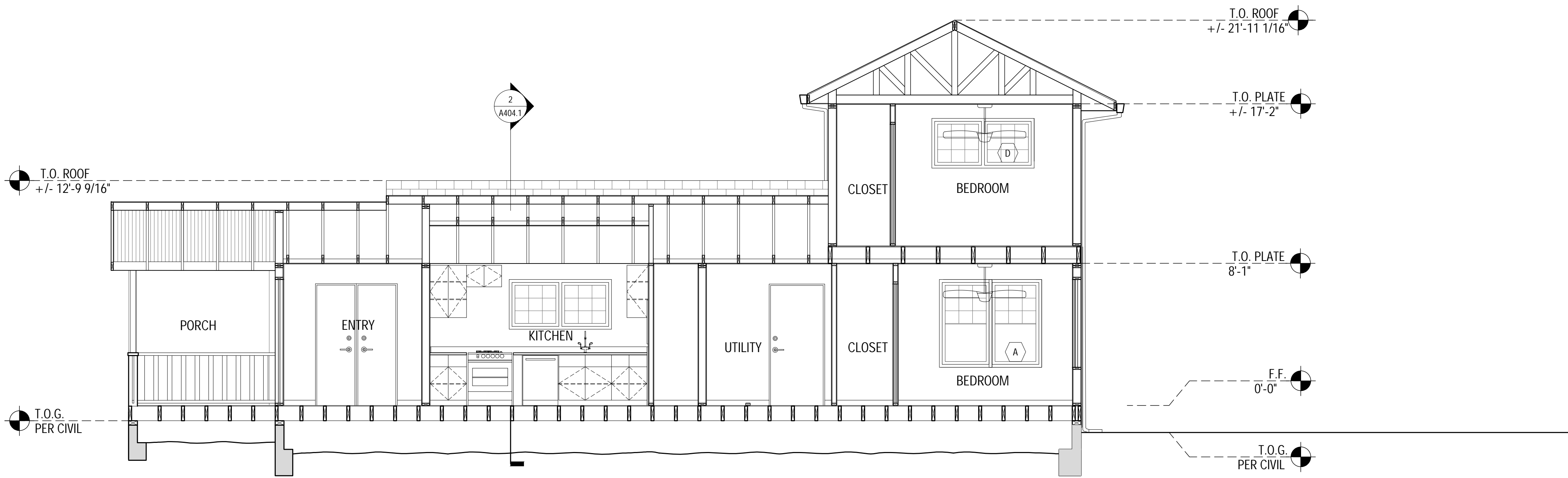
A403.4

FOUR BEDROOM TYPE B  
ELEVATIONS



TRANSVERSE SECTION 1

Scale: 1/4" = 1'-0"

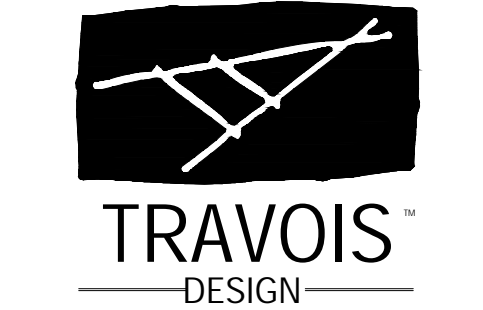


LOGITUDINAL SECTION 2

Scale: 1/4" = 1'-0"

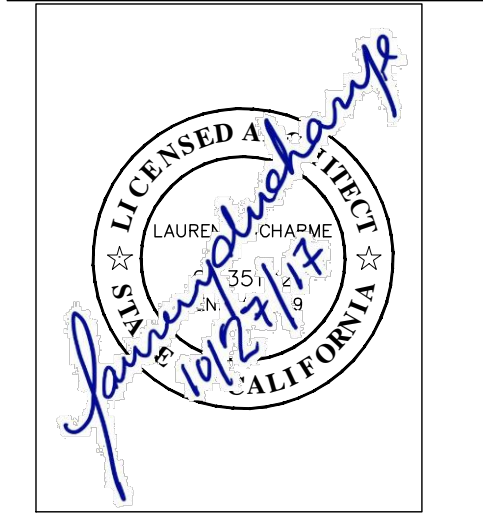
GENERAL NOTES (ORGANIZED BY CSI DIVISIONS)

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1A. SEE AN4 FOR SPECIFICATIONS AND OTHER DRAWINGS FOR INFO NOT SHOWN  
2. SITE WORK  
2A. REFER TO CIVIL FOR BUILDING LOCATIONS AND ADDITIONAL INFORMATION  
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5E. METAL PANEL  
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Coyote Valley Homes I, LIHTC  
Redwood Valley, California

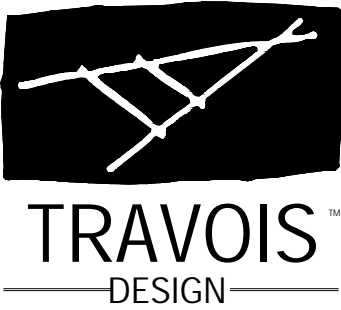
TRAVOIS ARCHITECTURE, PC  
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REVISION	DATE
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40% CDs	07/28/17
75% CDs	09/22/17
90% CDs	10/16/17
100% CDs	10/27/17

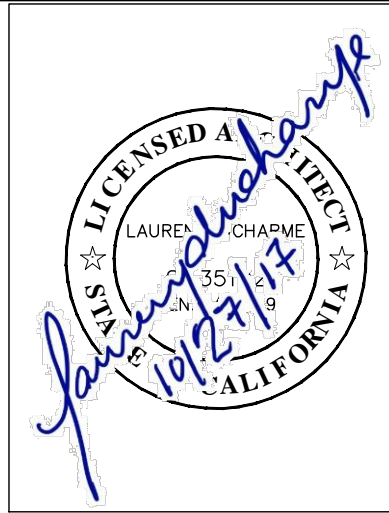
FOR CONSTRUCTION 10/27/17  
LOTS 21,22  
LOTS 25,26 (UNIVERSAL DESIGN)

SHEET  
A404.1  
FOUR BEDROOM  
TYPE A SECTIONS



Coyote Valley Homes I, LIHTC  
Redwood Valley, California

TRAVOIS ARCHITECTURE, PC  
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75% CDs	09/22/17
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100% CDs	10/27/17

FOR CONSTRUCTION 10/27/17

LOTS 10,11

SHEET

A404.2

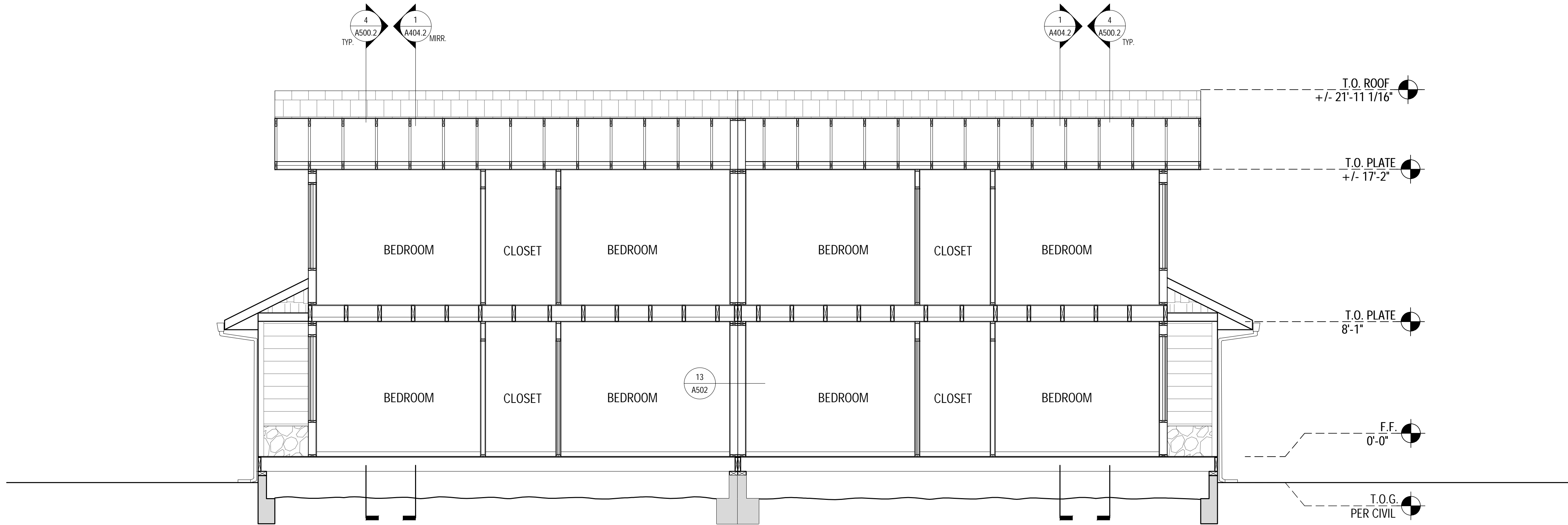
FOUR BEDROOM  
TYPE B SECTIONS

GENERAL NOTES (ORGANIZED BY CSI DIVISIONS)

- GENERAL
- 1A. SEE A404 FOR SPECIFICATIONS AND OTHER DRAWINGS FOR INFO NOT SHOWN
- SITE WORK
- 2A. REFER TO CIVIL FOR BUILDING LOCATIONS AND ADDITIONAL INFORMATION
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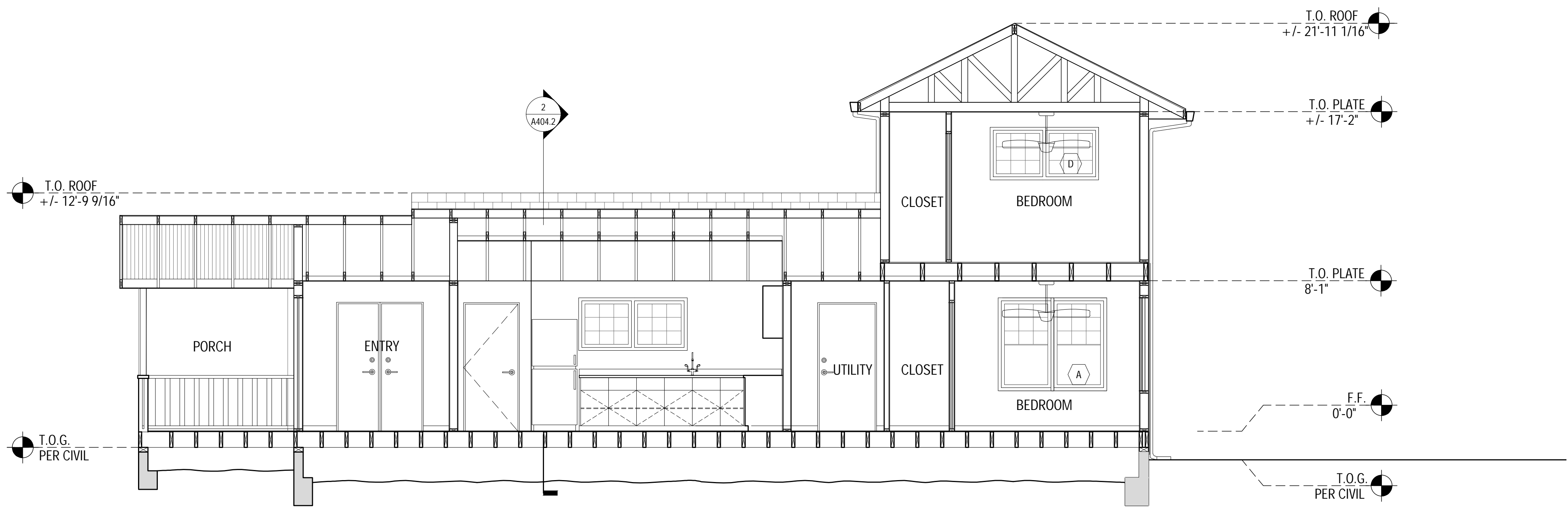
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- COMPOSITION ROOF, STANDARD COLORS, TBD BY OWNER
- HARDI BOARD4 AND 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER
- HARDI BOARD, 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER
- HARDI BOARD CEDAR SHAKES, RANDOM EDGE DOWN, STANDARD MFR. COLORS 1 AND 2 TBD BY OWNER
- CORONADO VILLA STONE VENEER COLOR TBD BY OWNER



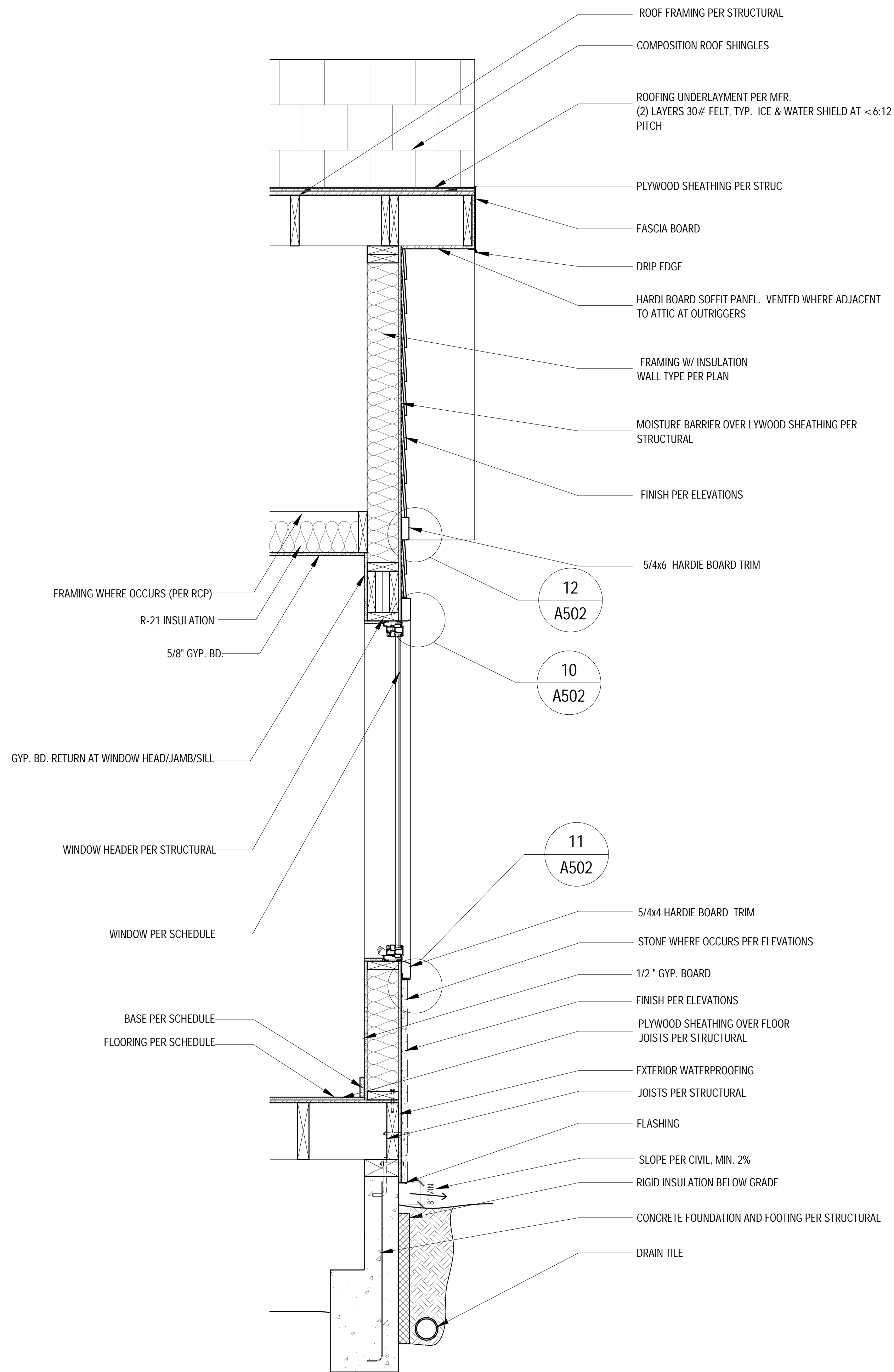
TRANSVERSE SECTION 1

Scale: 1/4" = 1'-0"

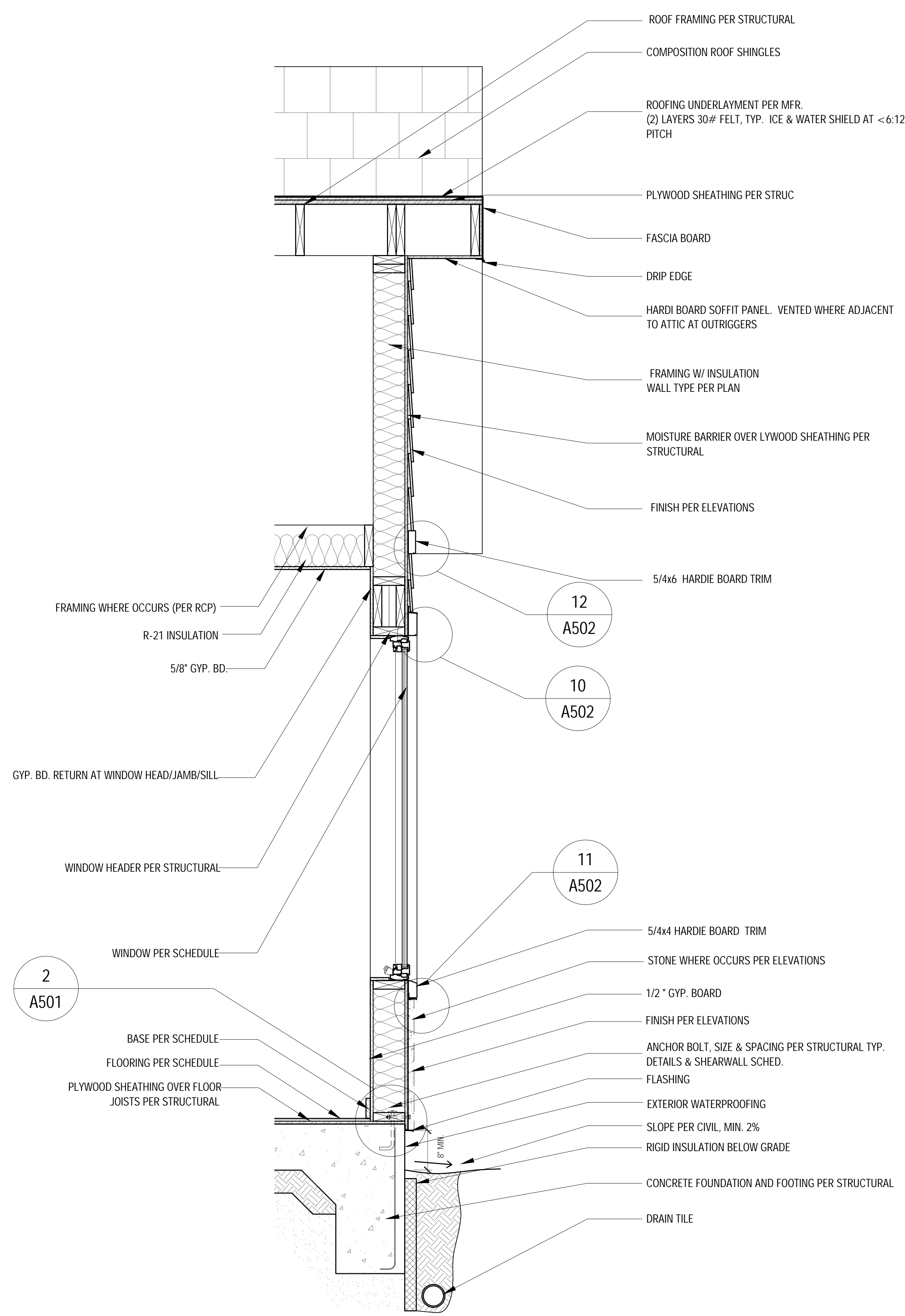


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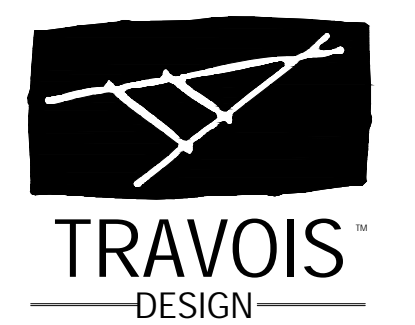
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TYP. WALL SECTION (RAISED FLOOR) **1**  
Scale: 1" = 1'-0"



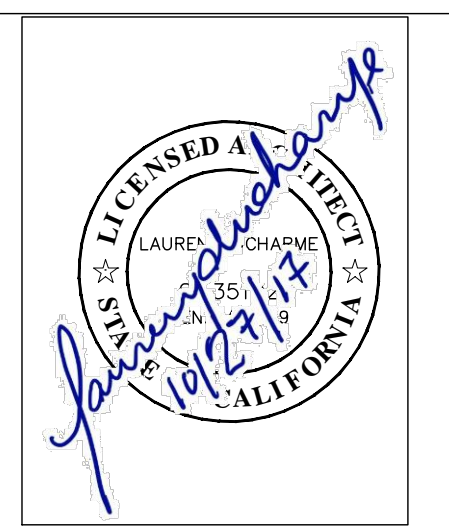
TYP. WALL SECTION (SLAB ON GRADE) **2**  
Scale: 1" = 1'-0"



# Coyote Valley Homes I, LIHTC

Redwood Valley, California

TRAVOIS ARCHITECTURE, PC  
310 W. 19TH TERRACE  
KANSAS CITY, MO 64108  
P 816.994.8970  
F 816.994.8974



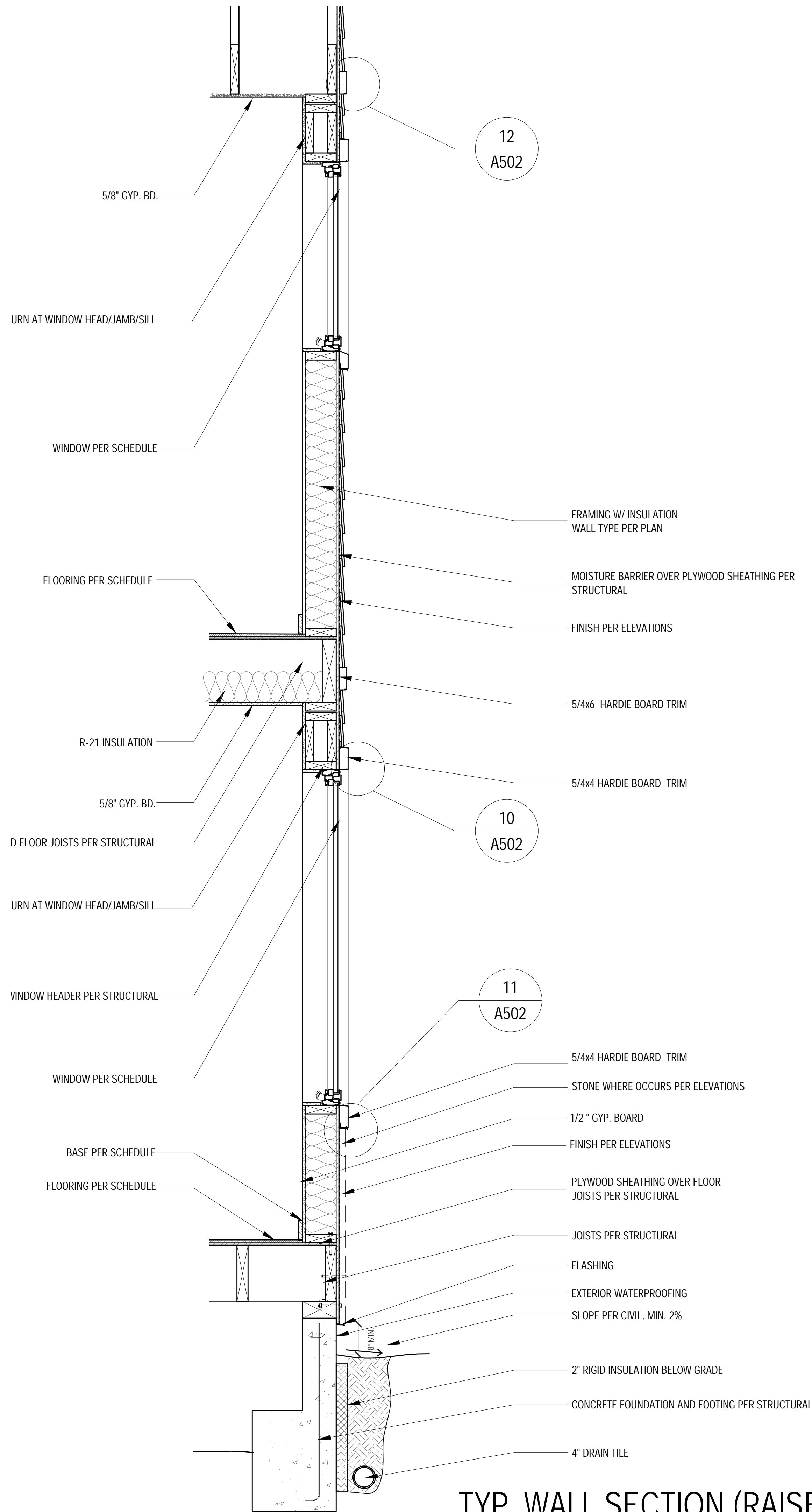
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25% CDs	06/30/17
40% CDs	07/28/17
75% CDs	09/22/17
90% CDs	10/16/17
100% CDs	10/27/17

FOR CONSTRUCTION 10/27/17

SHEET

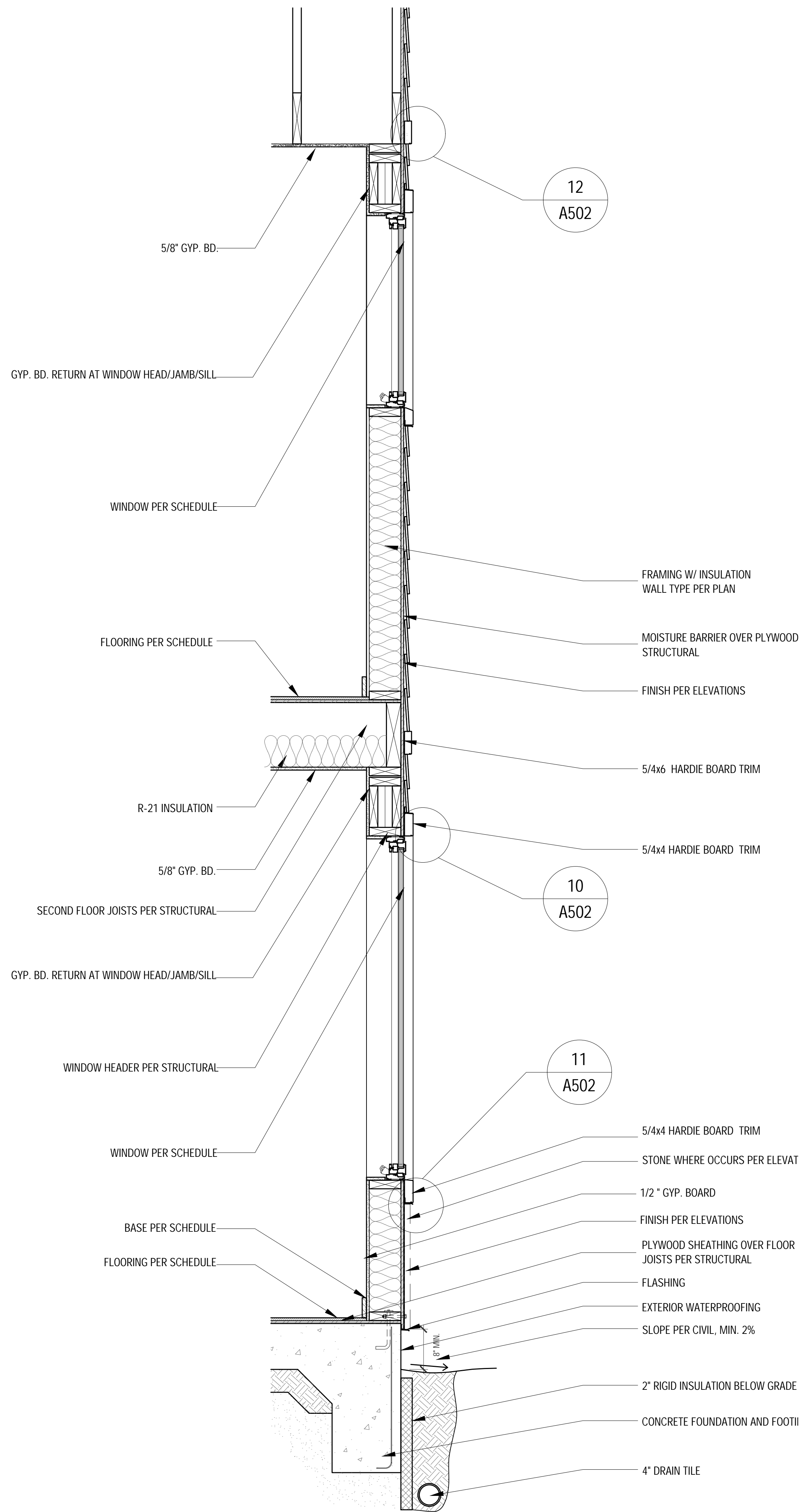
## A500.1

TYP. WALL SECTIONS,  
ONE STORY HOME



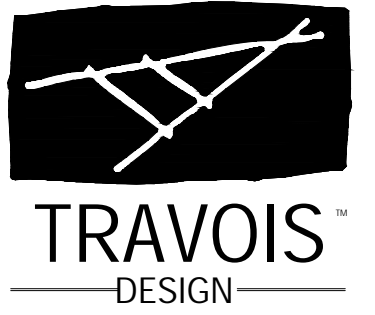
TYP. WALL SECTION (RAISED FLOOR) 3

Scale: 3/4" = 1'-0"



TYP. WALL SECTION (SLAB ON GRADE) 4

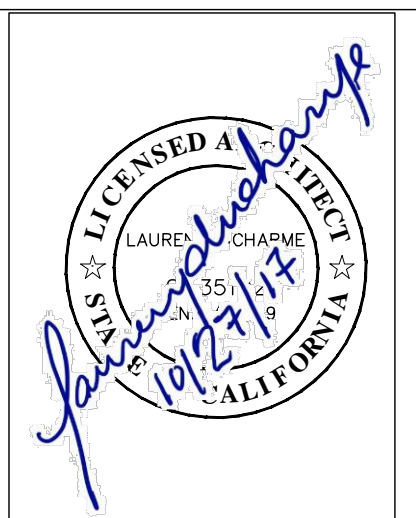
Scale: 3/4" = 1'-0"



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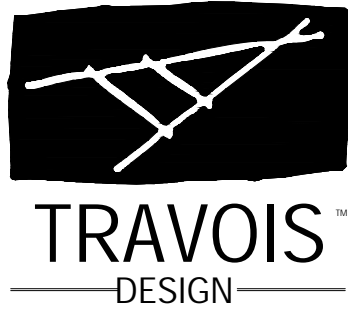
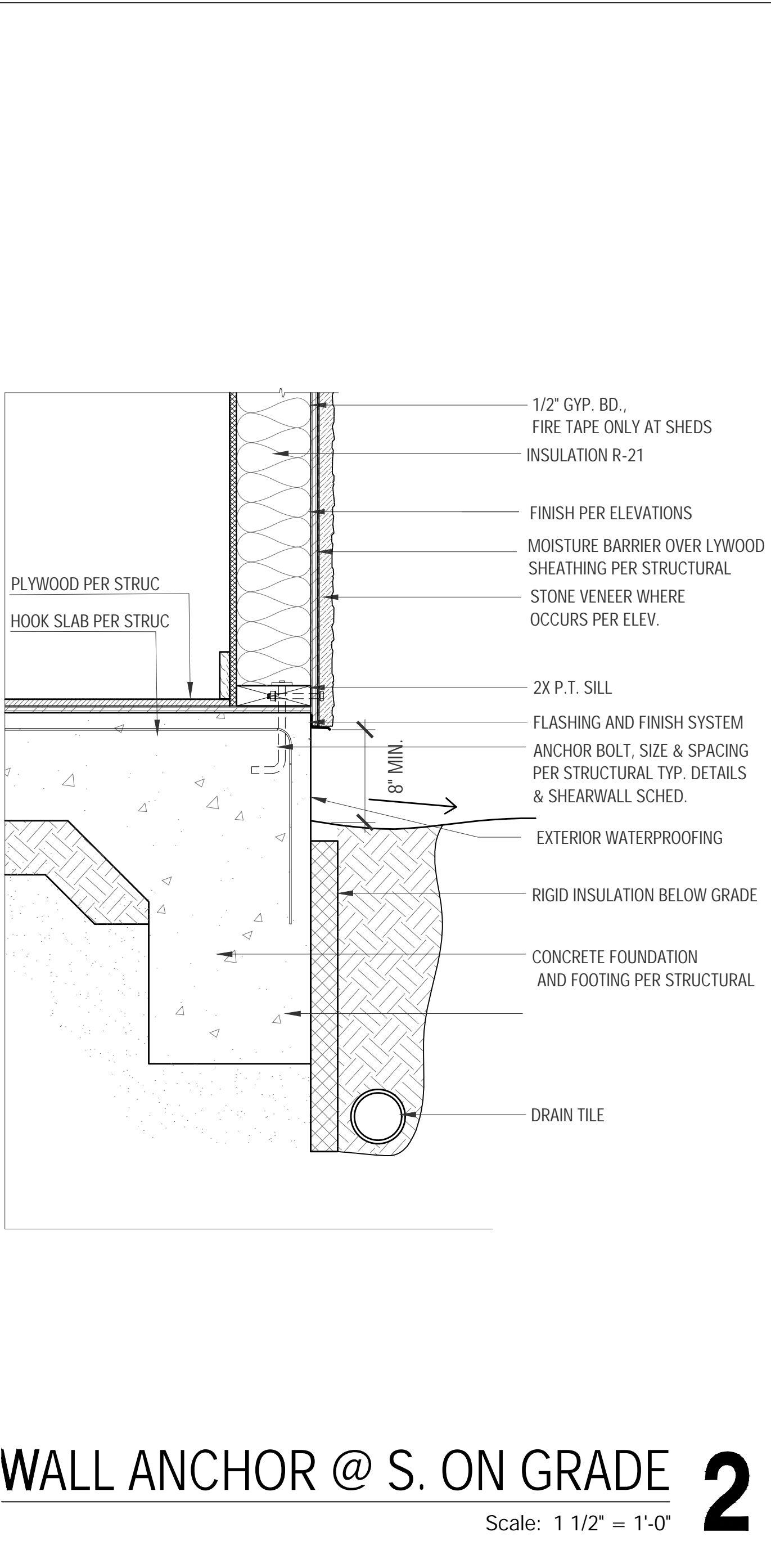
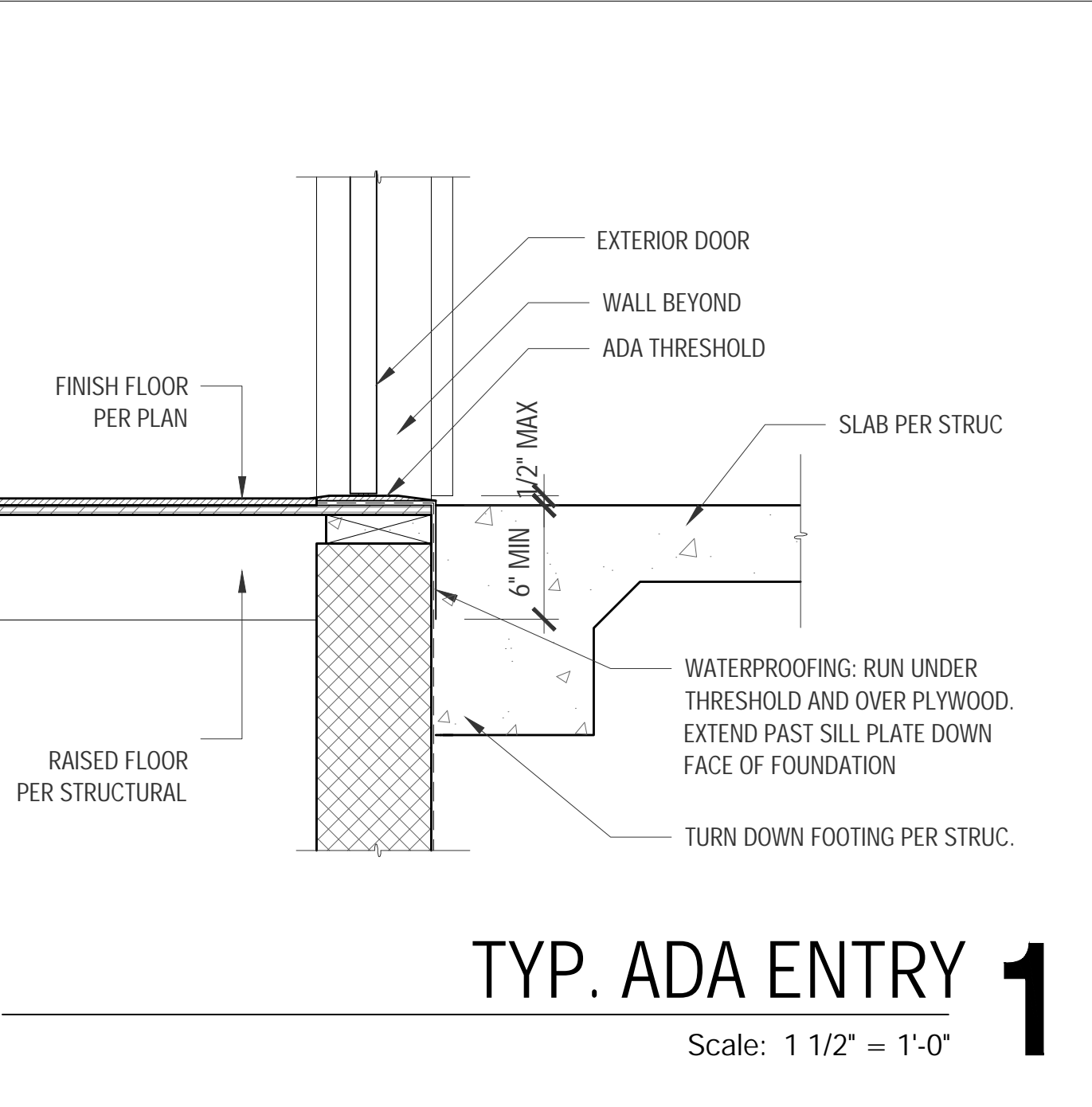
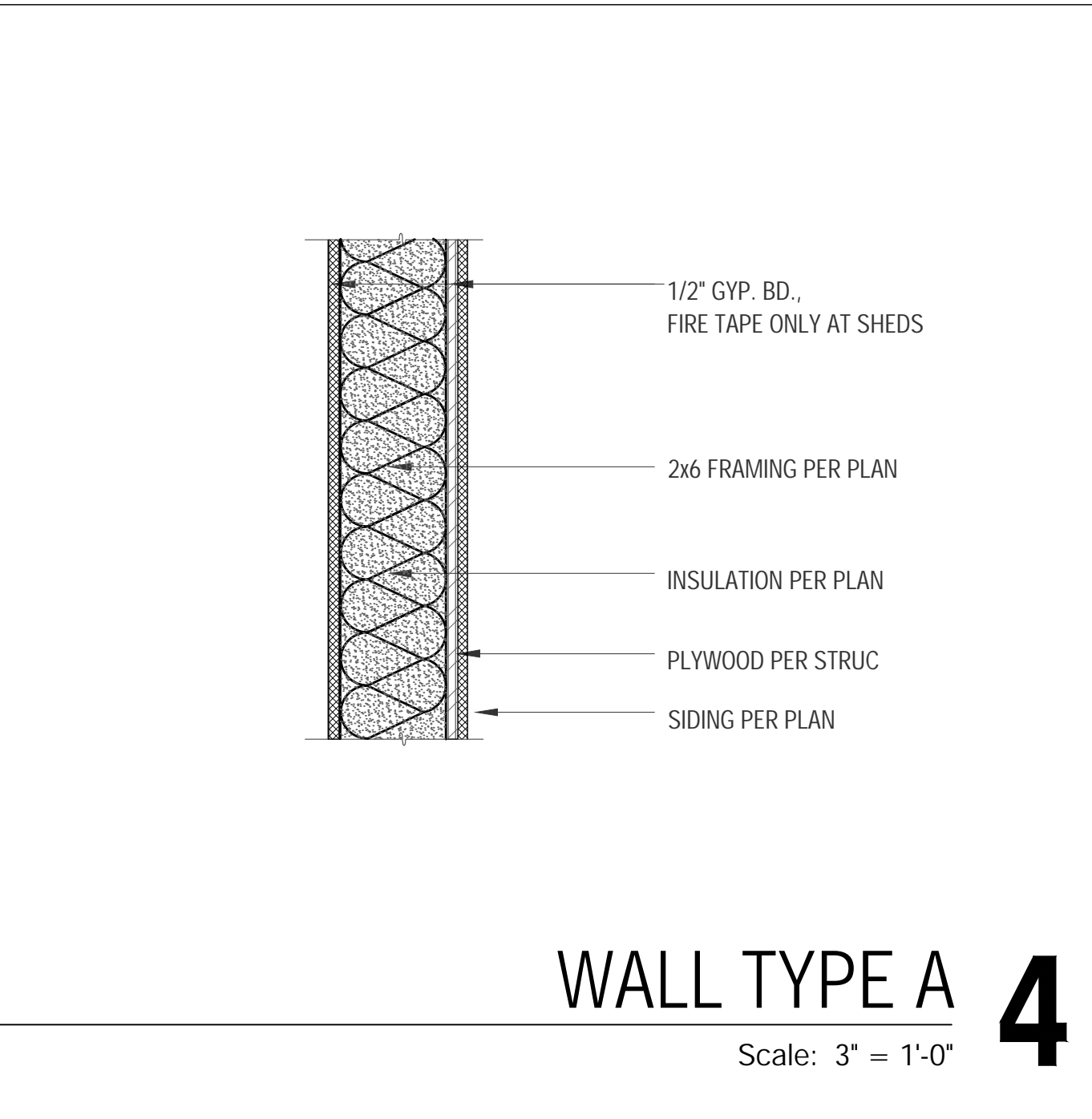
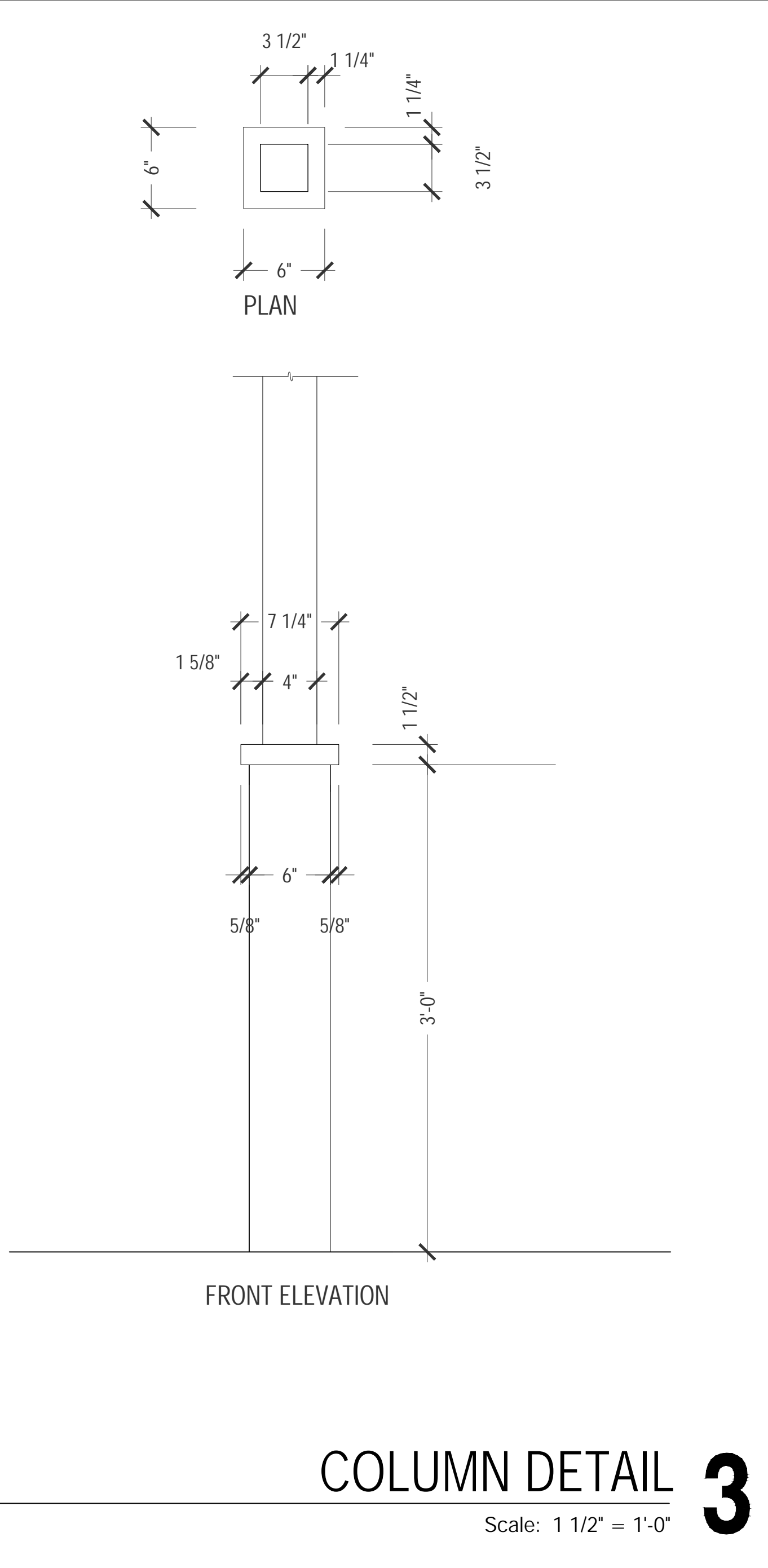
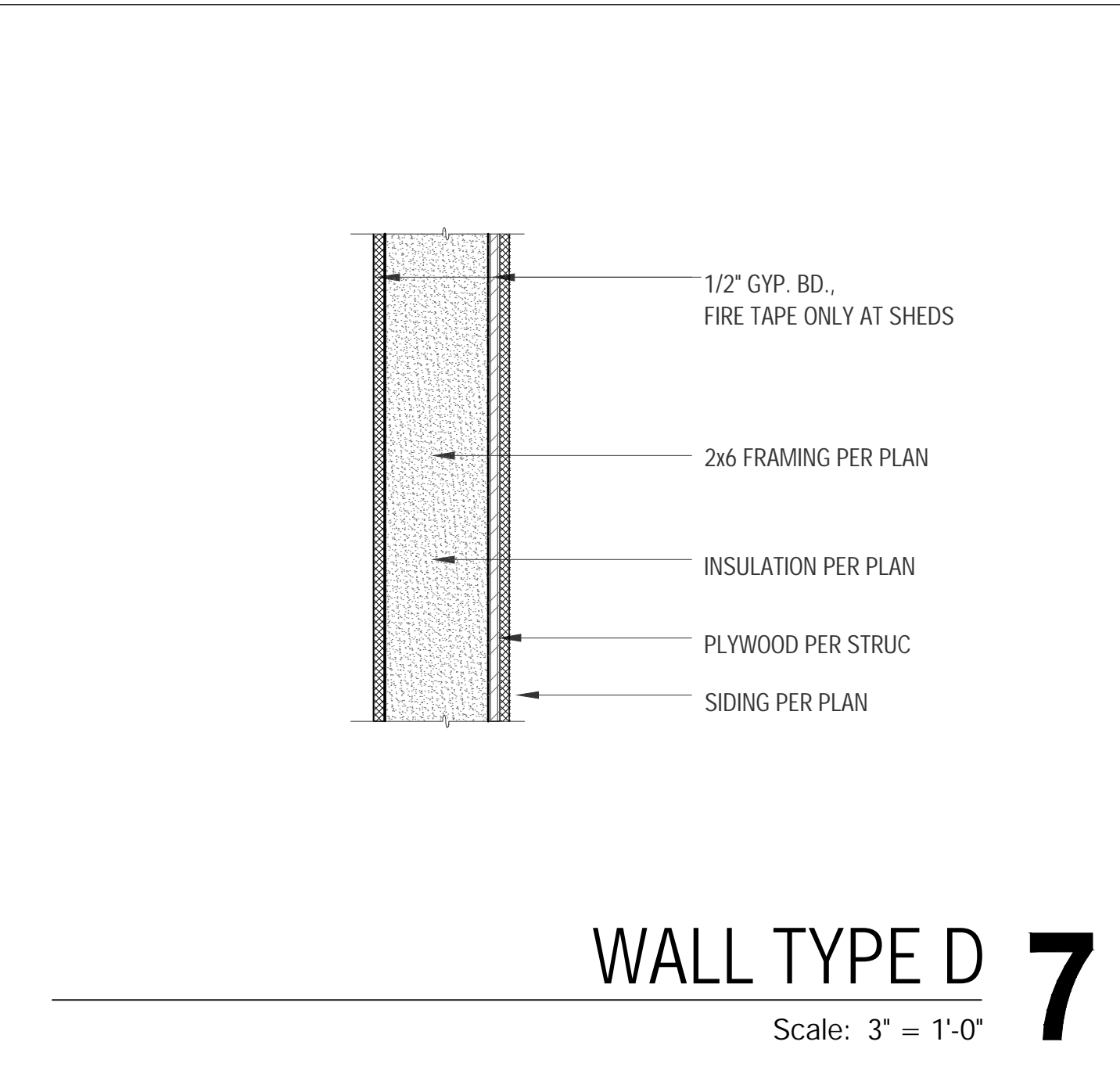
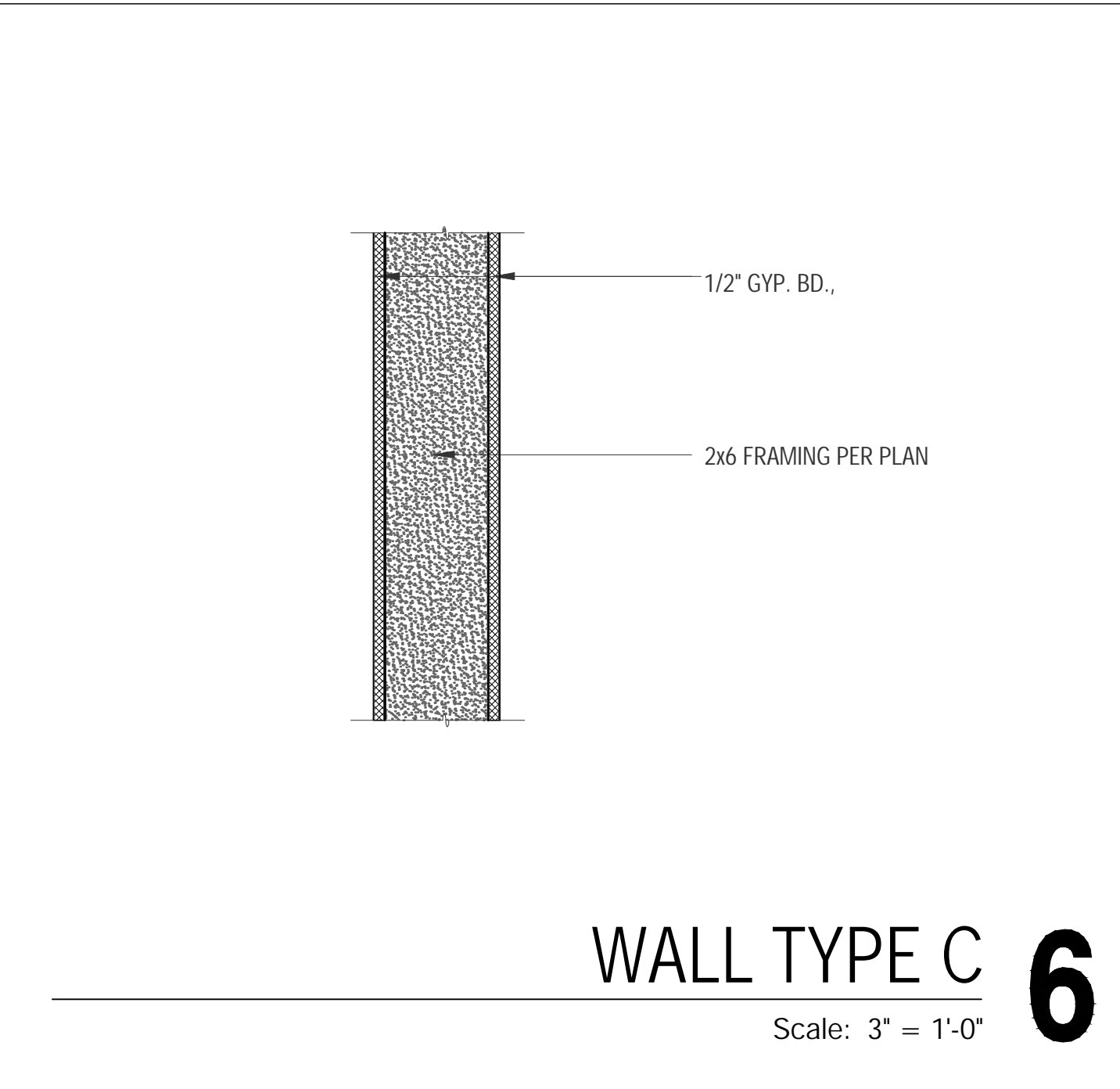
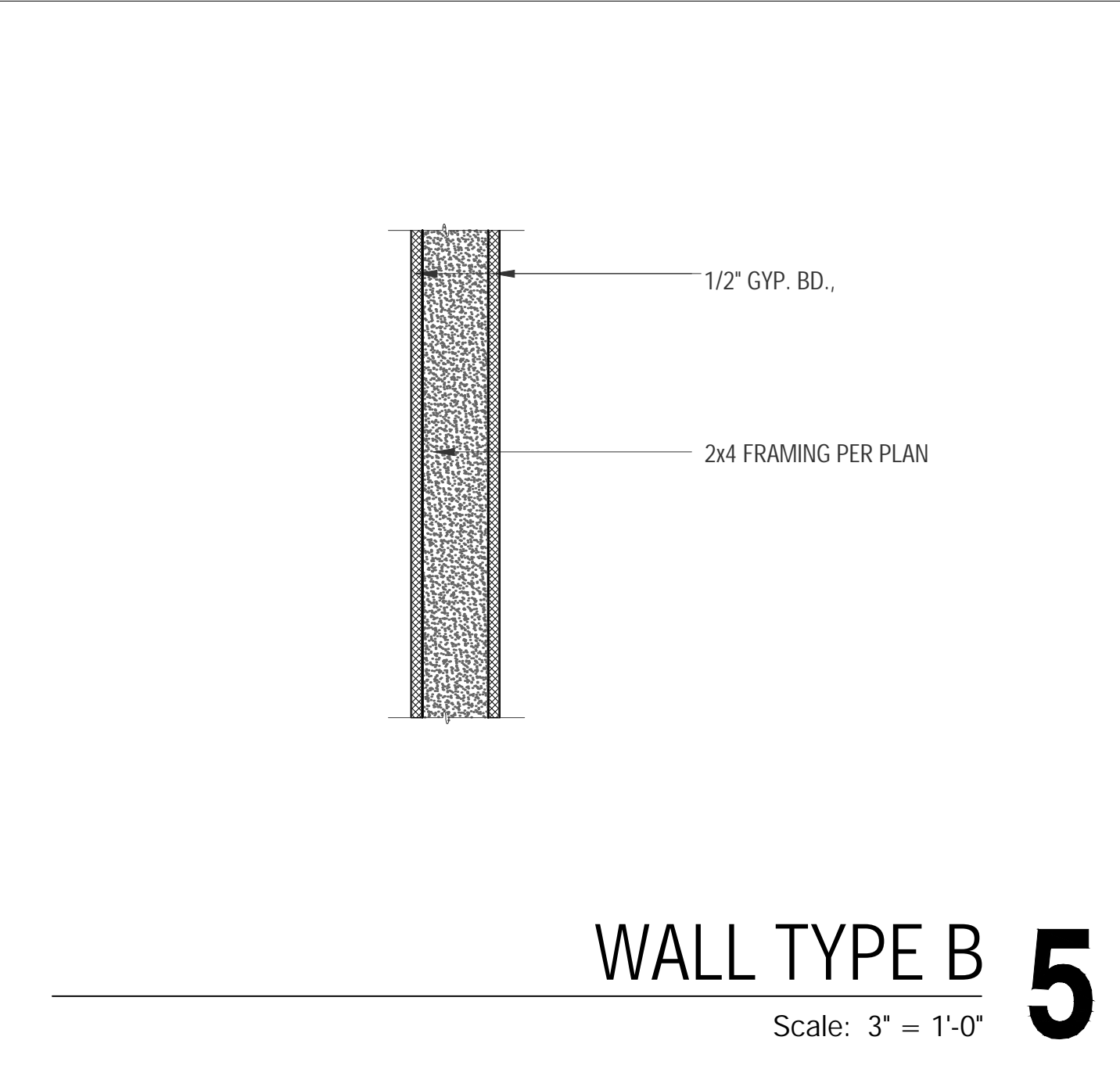
REVISION	DATE
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## A500.2

TYP. WALL SECTIONS  
TWO STORY HOME



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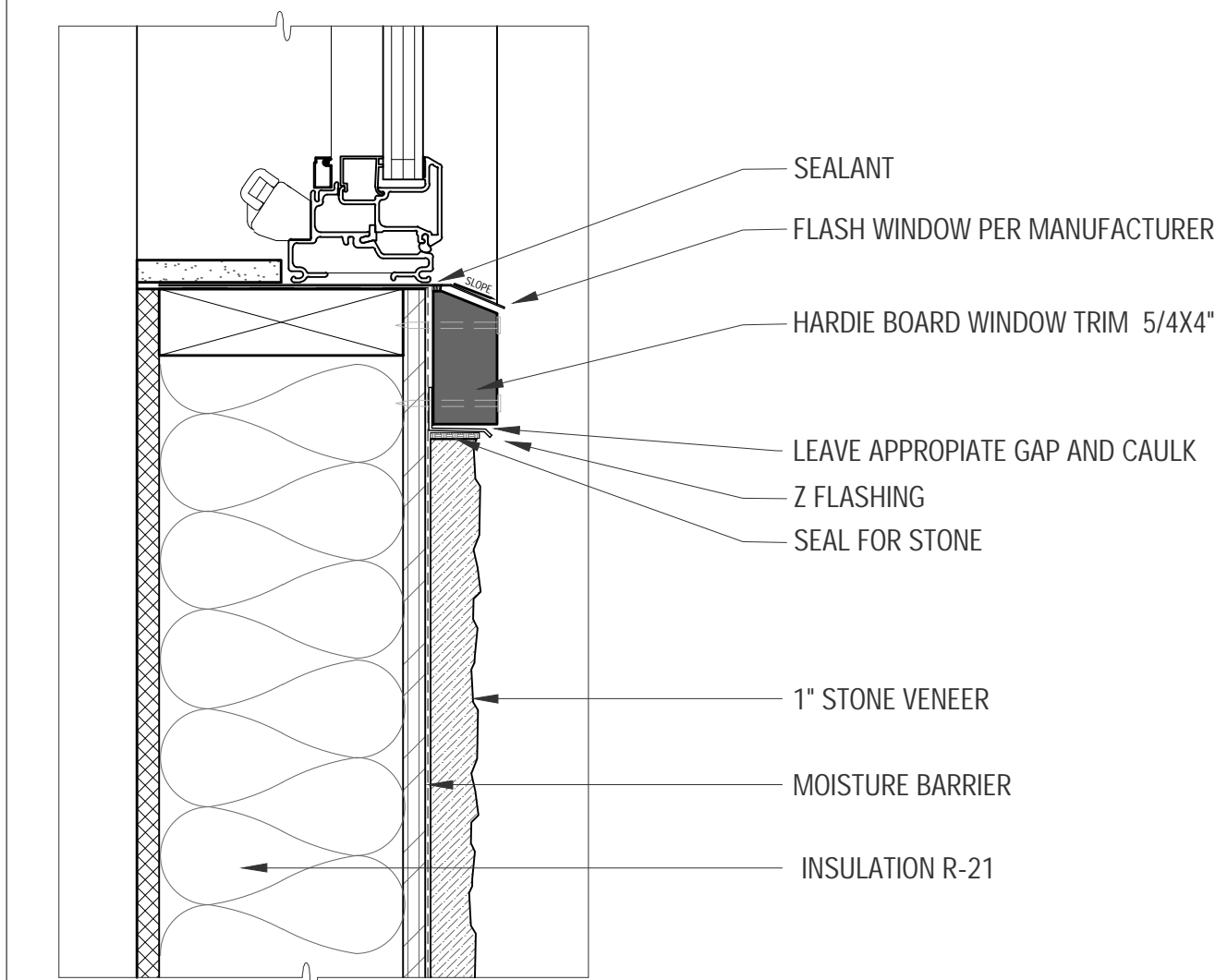
REVISION	DATE
25% CDs	06/30/17
40% CDs	07/28/17
75% CDs	09/22/17
90% CDs	10/16/17
100% CDs	10/27/17

FOR CONSTRUCTION 10/27/17

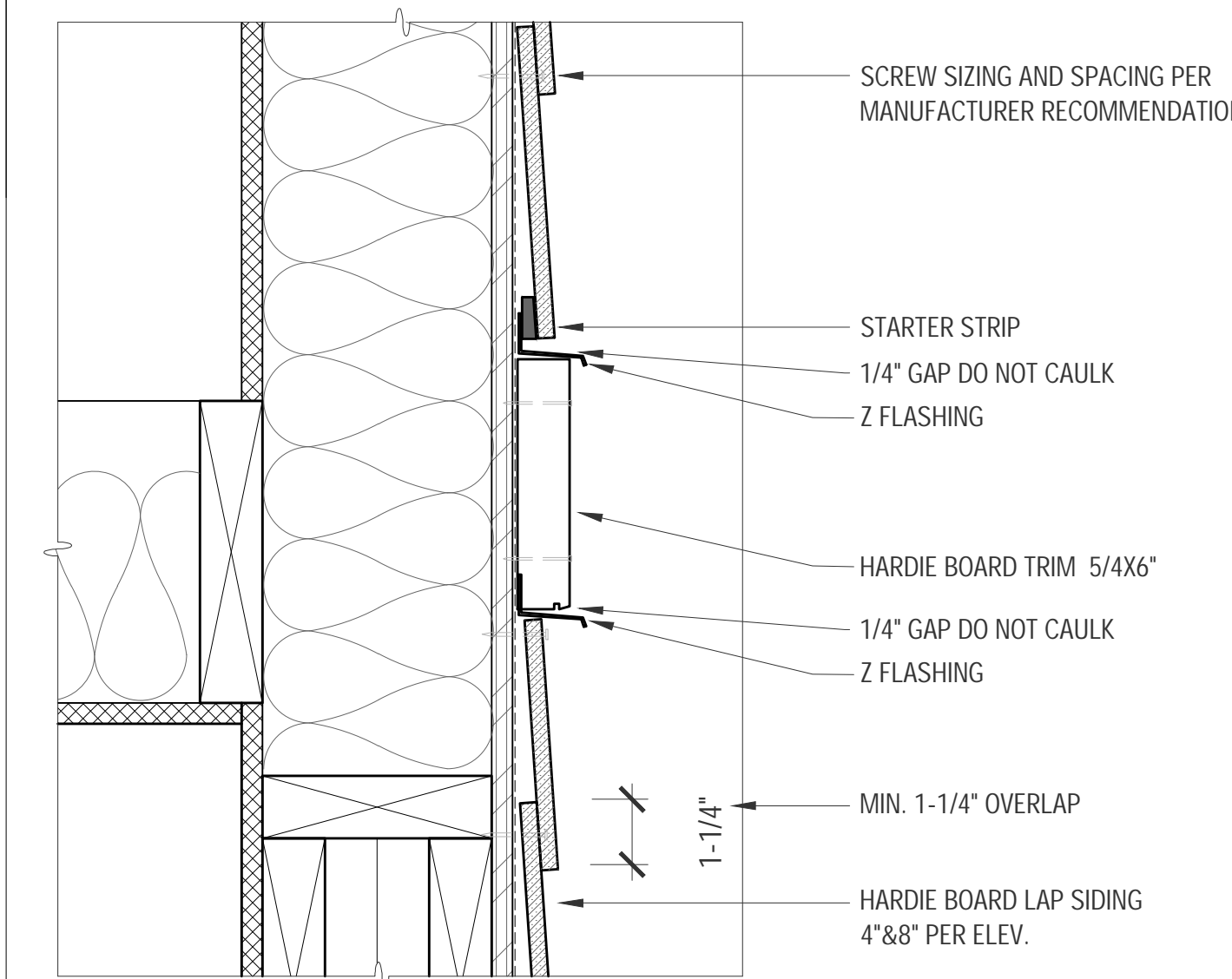
SHEET

A501

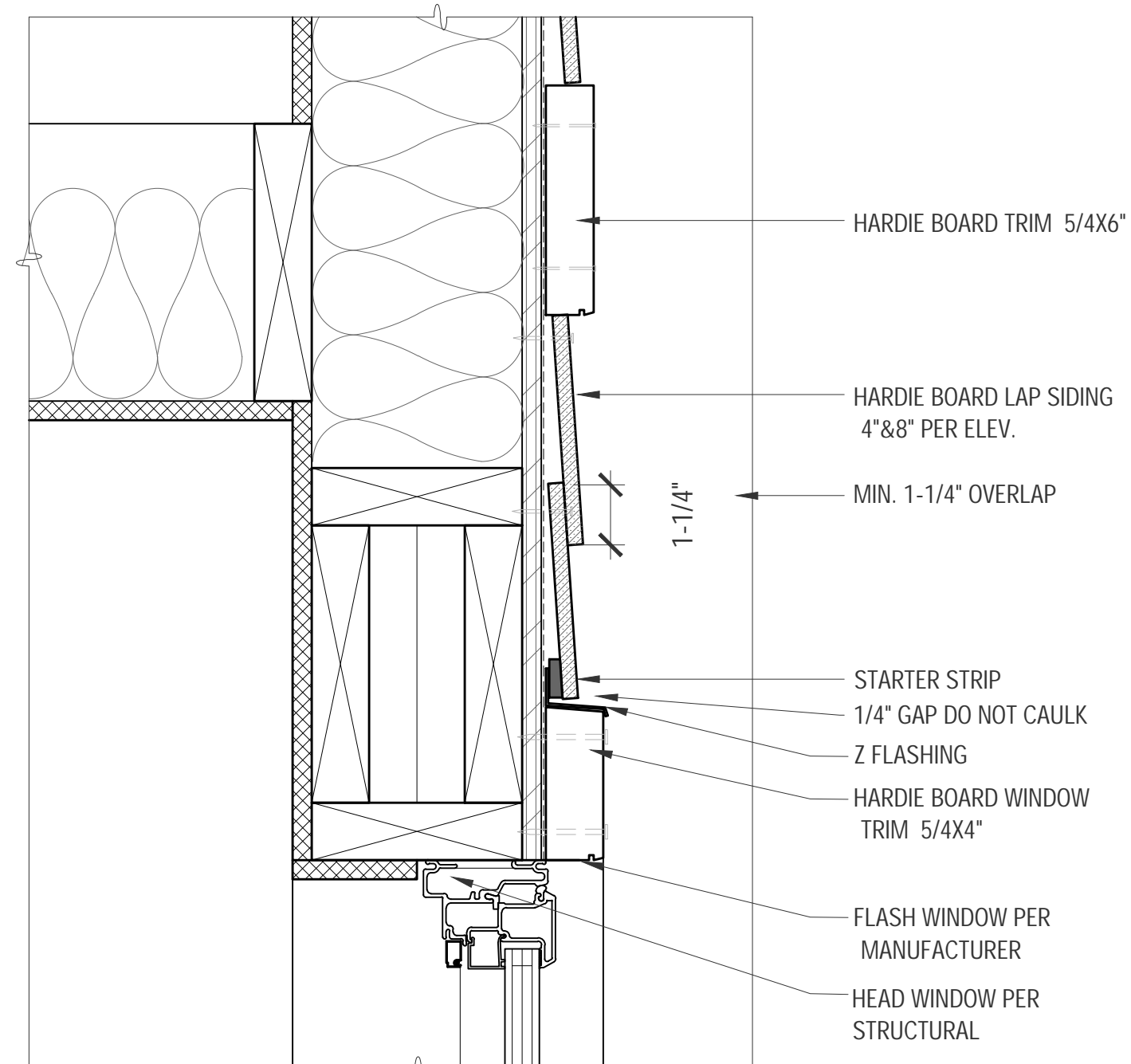
DETAILS



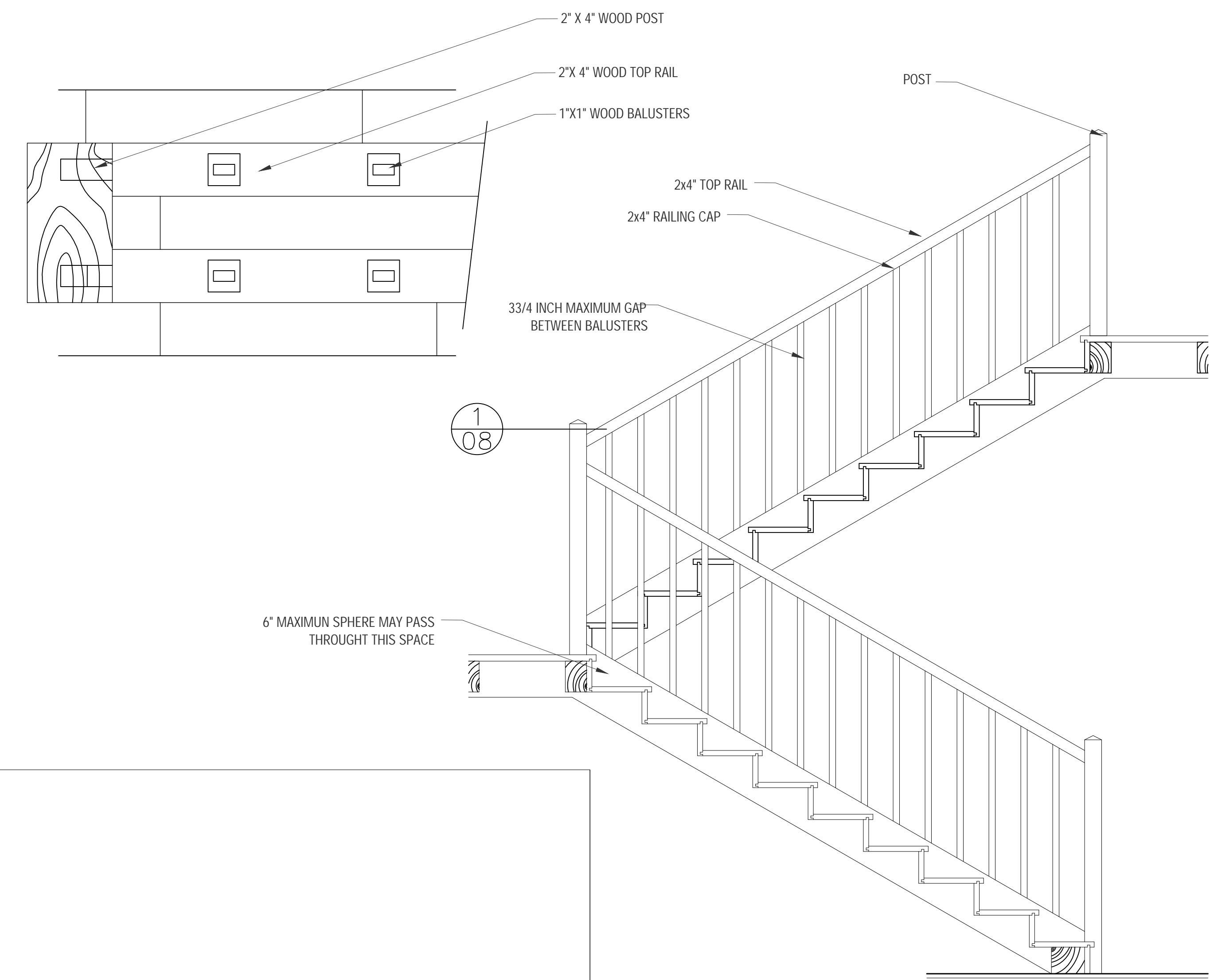
TRIM BOARD/STONE **11**  
Scale: 3" = 1'-0"



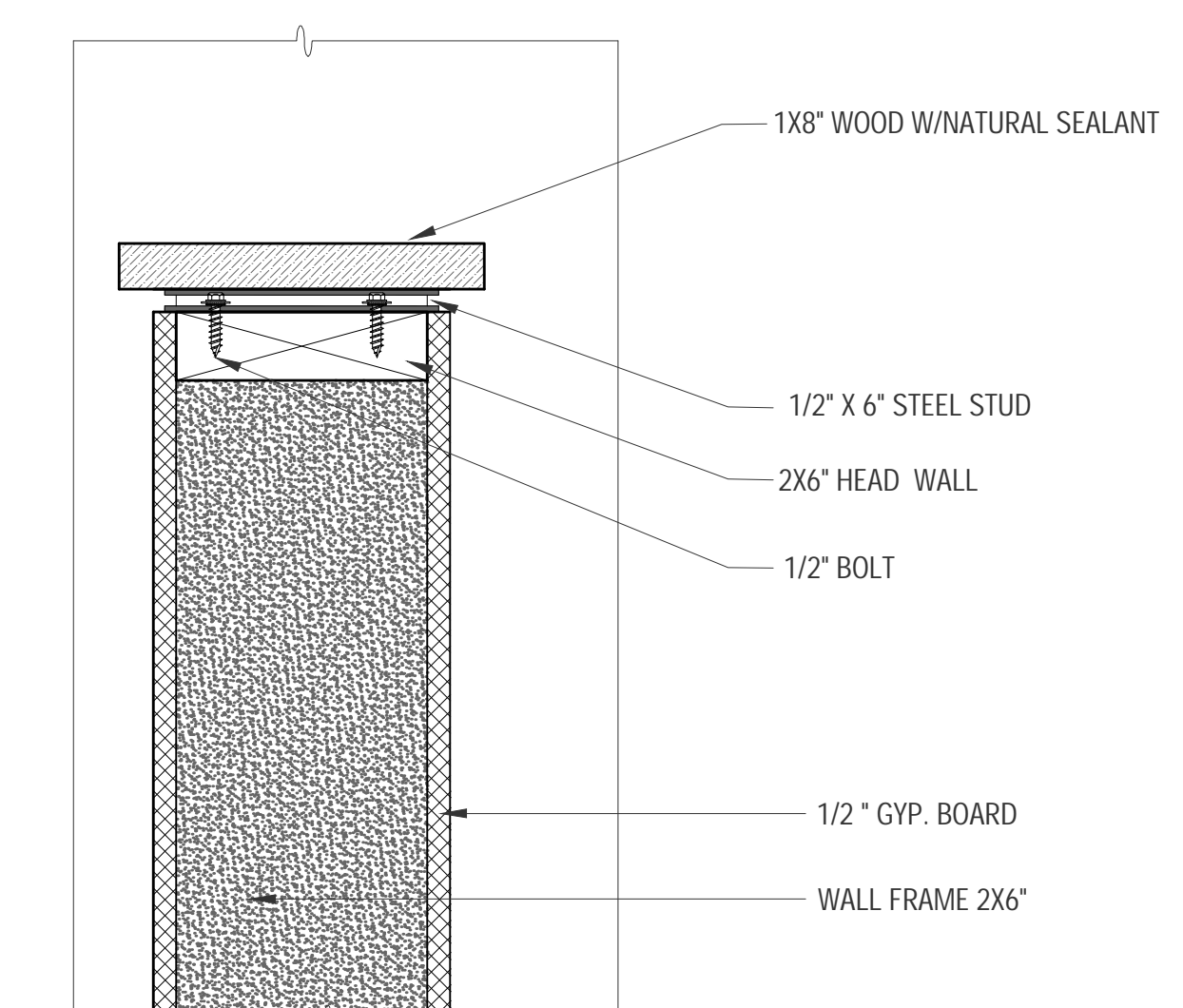
TRIM BOARD HORIZ/VERTICAL **12**  
Scale: 3" = 1'-0"



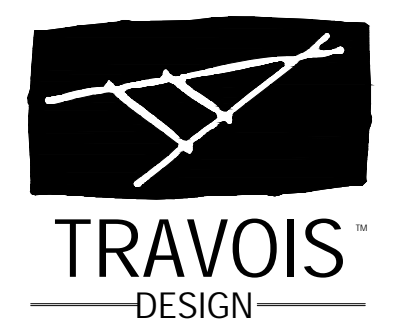
WINDOW TRIM **10**  
Scale: 3" = 1'-0"



GUARDRAIL/HANDRAIL **8**  
Scale: 3" = 1'-0"

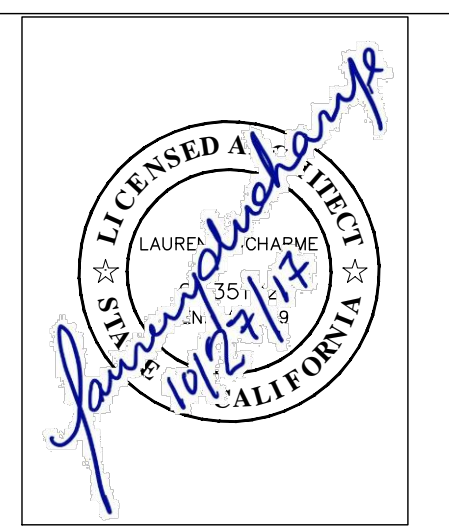


CAP AT PARTITION WALL **9**  
Scale: 3" = 1'-0"



Coyote Valley Homes I, LIHC  
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100% CDs	10/27/17

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SHEET

A502

DETAILS

[illegible]

DOOR	TYPE	SIZE (w x h)	THICK.	MFR.	CORE	MAT'L	FRAME	HDWR. GROUP	NOTES
100	I	3'-0" x 6'-8"	PER MFR.	THERMATRU TS #296 W/ VIEWER OR EQUAL	SC	MTL/GL/SCREEN	HC MTL	DBL. BORED KEY LOCK	TYP. EXTERIOR FRONT STORM DOOR W/ GLASS (TBD BY ARCHITECT) W/ SCREEN
101	I	3'-0" x 6'-8"	PER MFR.	THERMATRU TS #296 W/ VIEWER OR EQUAL	SC	MTL/GL/SCREEN	HC MTL	DBL. BORED KEY LOCK	TYP. EXTERIOR DOOR W/ GLASS (TBD BY ARCHITECT) W/ SCREEN
102	II	3'-0" x 6'-8"	1-1 3/8"	OREPAC OR EQUAL	HC	WOOD	WOOD	THUMB LOCK	TYP. INTERIOR STAIR/BATHROOM/BEDROOM
103	II	2'-6" x 6'-8"	1-1 3/8"	OREPAC OR EQUAL	HC	WOOD	WOOD	-	INTERIOR CLOSET/MISC.
104	V	4'-0" x 6'-8"	1-1 3/8"	OREPAC OR EQUAL	HC	WOOD	WOOD	-	TYP. INTERIOR CLOSET/MISC.
105	II	1'-11 x 6'-8"	1-1 3/8"	OREPAC OR EQUAL	HC	WOOD	WOOD	-	TYP. INTERIOR CLOSET/MISC.
106	III	3'-0" x 6'-8"	1-1 3/8"	THERMATRU TS #206 OR EQUAL	SC	MTL	HC MTL	THUMB LOCK	TYP. EXTERIOR WH DOOR
107	II	2'-2" x 6'-8"	1-1 3/8"	OREPAC OR EQUAL	HC	WOOD	WOOD	-	TYP. INTERIOR CLOSET/MISC.
108	III	3'-0" x 6'-8"	1-1 3/8"	THERMATRU TS #206 OR EQUAL	HC	WOOD	WOOD	THUMB LOCK	TYP. INTERIOR GARAGE
109	V	6'-0" x 6'-8"	1-1 3/8"	OREPAC OR EQUAL	HC	WOOD	WOOD	-	TYP. INTERIOR CLOSET
110	IV	3'-0" x 6'-8"	1-1 3/8"	OREPAC OR EQUAL	HC	WOOD	WOOD	-	TYP. INT. UTILITY DOOR. PROVIDE VENTILATED OPENING AS REQ'D PER MFR/MECH
111	VI	9'-6" x 7'-10"	PER MFR	THERMACORE MODEL 599 OR EQUAL	SC	MTL	HC MTL	KEY LOCK	GARAGE DOOR

NOTES:

- ALL DOOR AND R.O. DIMENSIONS TO BE VERIFIED IN FIELD AND PER DOOR MFR.
- REFERENCE FLOOR PLANS FOR DOOR OPERATION
- ALL GLAZING SHALL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED SHOWING THE U VALUE.
- ALL GLAZING SHALL BE SPECTRALLY SELECTIVE LOW-E COATED.
- VENTILATION AND EGRESS OPENINGS SHALL MEET MINIMUM REQUIREMENTS AS STATED IN REFERENCED BUILDING CODES.
- ALL GLAZING TO MEET MIN. GREENPOINT HOMES REQUIREMENTS
- ALL INTERIOR DOORS TO USE LEVER STYLE HARDWARE. TYP.
- WHITE BLINDS MAX. WIDTH 4". SINGLE HEADER MAX. 8"

door types

ENCAPSULATED BLINDS

3'-2"

7"

7"

7"

6"

6"

7'-5"

9'-4"

I

II

III

IV

V

VI

finish legend				
ABBREVIATION	ITEM NAME	MFR.	NAME/COLOR	NOTES
LVP-1	TYPICAL FLOORING	SHAW	LVT OR LVP, COLOR TBD BY OWNER	
B-1	BASE	ARMSTRONG	4" COVE, RUBBER, COLOR TBD BY OWNER	
P-1	CEILING PAINT	SHERWIN WILLIAMS	EGG SHELL, COLOR TBD	VOC FREE, LATEX, 1 COAT PRIMER, 1 FIN. COAT
P-2	CEILING PAINT	SHERWIN WILLIAMS	SATIN, COLOR TBD	VOC FREE, LATEX, 1 COAT PRIMER, 1 FIN. COAT
P-3	WALL PAINT	SHERWIN WILLIAMS	EGG SHELL, COLOR TBD	VOC FREE, LATEX, 1 COAT PRIMER, 1 FIN. COAT
P-4	WALL PAINT	SHERWIN WILLIAMS	SATIN, COLOR TBD	VOC FREE, LATEX, 1 COAT PRIMER, 1 FIN. COAT
PL-1	COUNTERTOP	WILSONART	TBD BY OWNER	
LP-1	FIBER CEMENT SIDING/SOFFIT BOARD	JAMES HARDIE	PER ELEVATIONS, VENTED SOFFIT WHERE REQUIRED	
C-1	C.I.P. CONCRETE	.	BROOM FINISH	
C-2	STAINED CONCRETE			

window schedule							
WDW	TYPE	SIZE (w x h)	MFR.	SERIES	GLAZ.	FRAME	NOTES
A	A	3'-0" x 5'-0"	MILGARD	STYLINE	SINGLE	VINYL	TWO B WINDOWS, MILLED TOGETHER
B	B	6'-0" x 5'-0"	MILGARD	STYLINE	SINGLE	VINYL	-
C	C	3'-0" x 2'-0"	MILGARD	STYLINE	SINGLE	VINYL	-
D	D	6'-0" x 2'-0"	MILGARD	STYLINE	SINGLE	VINYL	TWO C WINDOWS, MILLED TOGETHER
E	E	8'-8" x 5'-0"	MILGARD	STYLINE	SINGLE	VINYL	-

NOTES:

1. ALL WINDOW DIMENSIONS GIVEN ARE GENERAL AND CONTRACTOR SHALL VERIFY ALL WINDOW OPENING DIMENSIONS. COORDINATE.
2. REFERENCE BUILDING ELEVATIONS, FOR LOCATION AND DIRECTION OF OPERABLE UNITS. (ALL OPERABLE WINDOWS TO HAVE SCREENS TO MATCH FRAME)
3. DIMENSIONS GIVEN ARE TO INTERIOR OF ROUGH OPENING. MANUFACTURER TO PROVIDE WINDOW UNITS TO FIT SUCH OPENINGS.
4. REFERENCING WINDOW DETAILS AND PROVIDING FOR SHIM SPACE AS REQUIRED. CONTRACTOR TO COORDINATE FIELD DIMENSIONS WITH WINDOW MANUFACTURER.
5. ALL GLAZING TO BE INSTALLED WITH A CERTIFYING LABEL ATTACHED.
6. WINDOWS WITHIN BEDROOMS SHALL MEET EMERGENCY ESCAPE AND RESCUE REQUIREMENTS PER IRC AND IRC.
7. VENTILATION SHALL COMPLY WITH IRC AND IRC AS REQUIRED.
8. SAFETY GLAZING SHALL BE REQUIRED IN THE FOLLOWING LOCATIONS:
  - ALL GLAZING WHOSE EXPOSED EDGE IS LESS THAN 60" ABOVE THE WALKING SURFACE IN A BATHTUB OR SHOWER SHALL BE TEMPERED PER IRC SECTION 2406.3.5.
  - ALL GLAZING WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF A DOOR SHALL BE TEMPERED PER IRC SECTION 2406.3.6.
  - ALL GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE: WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE PER IRC SECTION 2406.3.10.
  - ALL GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD PER IRC SECTION 2406.3.11.
10. WINDOWS SHALL MEET THE MINIMUM U VALUES AND INFILTRATION REQUIREMENTS PER GREENBUILT HOMES AND IRC AS REQUIRED.
11. PROVIDE SCREENS FOR ALL OPERABLE WINDOWS
12. PROVIDE MINI BLINDS FOR ALL WINDOWS
13. GLAZING REQUIREMENTS MAX. OF 30 U-FACTOR. 25 SHGC

## window types

The diagram illustrates seven window types, each with its dimensions labeled. The dimensions are defined as follows:

- WIDTH - SEE SCHED.**: The width of the window frame.
- HEIGHT - SEE SCHED.**: The height of the window frame.
- EQUAL**: Indicates that the width and height are equal.
- V.L.F.**: Vertical Line Frame.

The window types are labeled A through G:

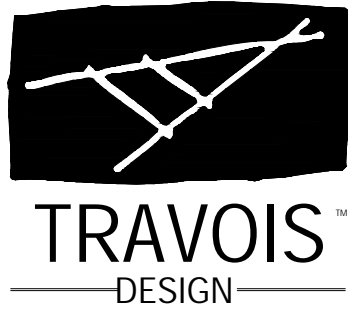
- A**: Double-hung window with equal width and height.
- B**: Single-hung window with equal width and height.
- C**: Casement window with equal width and height.
- D**: Double-hung window with equal width and height.
- E**: Single-hung window with equal width and height.
- F**: Casement window with equal width and height.
- G**: Double-hung window with equal width and height.



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100% CDs	10/27/17

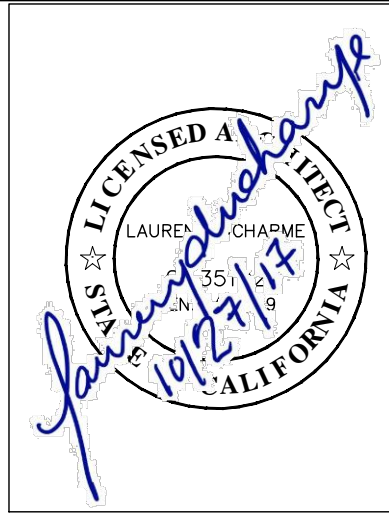
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## SCHEDULES



Coyote Valley Homes I, LIHTC  
Redwood Valley, California

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A700

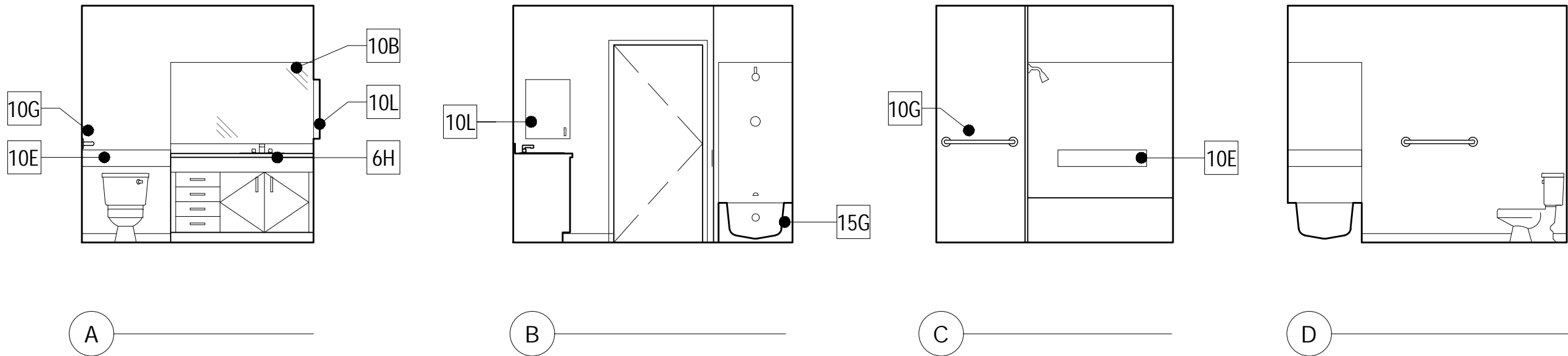
INTERIOR  
ELEVATIONS

GENERAL NOTES (ORGANIZED BY CSI DIVISIONS)

- GENERAL
- 1A. SEE AN4 FOR SPECIFICATIONS AND OTHER DRAWINGS FOR INFO NOT SHOWN
- SITE WORK
- 2A. REFER TO CIVIL FOR BUILDING LOCATIONS AND ADDITIONAL INFORMATION
- CONCRETE
- 3A. FOUNDATIONS TO BE SLAB ON GRADE OR RAISED CIP. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION AND LOCATIONS
- 3B. PRE-CAST SPLASHBLOCK
- 3C. VENEER STONE
- 3D. CONC. PATIO, BROOM FINISH
- METALS
- 5A. GUTTER AND DOWNSPOUT
- 5B. 12" METAL ICE BREAK AT ALL DOWNSLOPES
- 5C. VENTED ALUMINUM SOFFIT WINSECT/ FIRE SCREEN
- 5D. METAL ROOF OVER UNDERLAYMENT PER LEGEND
- METAL PANEL
6. WOOD AND PLASTICS
- 6A. ALL WALL DIMENSIONS TO FACE OF STUD OR CENTER OF ROUGH OPENING, U.N.O. SEE ATS LEGEND FOR CLARIFICATIONS
- 6B. SEE S SHEETS FOR WALL FRAMING AND TYPES NOT SPECIFICALLY REFERENCED. ALL INTERIOR WALLS TYPE B, U.N.O.
- 6C. SEE ATS FOR TYP. WALL TYPES
- 6D. ALL PLUMB. & EXTERIOR WALLS SHALL BE 2X6 CONSTRUCTION U.N.O., WALL TYPES A AND C
- 6E. COLUMNS PER STRUCTURAL
- 6F. FINAL R.O. PER DOOR/WDW MFR
- 6G. ALL DOORS TO BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.
- 6H. CABINETS PER ENLARGED PLANS
- 6J. COUNTERTOP
- 6K. 1 1/2" WOOD HANDRAIL, CLEAR COAT GL. GUARDRAIL PER DETAIL 08/A5 02
- THERMAL AND WATER PROOFING PROTECTION
- 7A. INSULATION
- 7B. ANY REMOVABLE FORMWORK TO UTILIZE LOW-TOXICITY FORM RELEASE AGENTS
- 7C. ALL WATERPROOFING SYSTEMS TO BE WATER BASED
- 7D. RIDGE VENT
- 7E. TYVEK BUILDING WRAP
- 7F. Z FLASHING
- 7G.HARDI BOARD SIDING PER LEGEND
- 7H. 5/4 4" PRE-FIN. HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD
- 7J. 5/4 4" PRE-FIN. HARDI BOARD PRE-MADE EXT. CORNER TRIM BOARD. STANDARD COLOR, TBD
- 7K. PRE-FINISHED HARDI BOARD FASCIA, STANDARD COLOR, TBD
- 7L. UNDERSLAB VAPOR BARRIER
- 7M. 5/4 6" PRE-FINISHED HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD
- 7N. COMP. ROOF SHINGLES OR TPO MEMBRANE, SEE LEGEND
- DOORS AND WINDOWS
- 8A. SEE DOOR AND WINDOW SCHEDULE
- 8B. 24"x48" DRYWALL ATTIC ACCESS SET ON CLEAT. EXACT LOCATION TBD IN FIELD AND COORDINATED WITH TRUSS LOCATIONS
- FINISHES
- 9A. SEE FINISH SCHEDULE AND SPECIFICATIONS FOR ADD'L INFO
- 9B. ALL MATERIALS TO WRAP TO NEAREST INSIDE CORNER OR TO TRANSITION AS SHOWN
- 9C. ALL WALL SURFACES IN BATHS, RESTROOMS, LAUNDRY, UTILITY, KITCHEN & WET LOCATIONS, AREAS IMMEDIATELY ADJ. TO RANGE TOP & HOT WATER HEATER TO RECEIVE WATER RESIST. PURPLE GYP. BD.
- 9D. GYPSUM BOARD
- SPECIALTIES
- 10A. PROVIDE (5) TIERS OF 24" DEEP MDF SHELVING. PAINT TO MATCH WALLS, TYP.
- 10B. WALL MOUNTED MIRROR ABOVE SINK AND COUNTER
- 10C. PROVIDE (1) CHROME TOILET PAPER TOWEL HOLDER PER TOILET/STALL
- 10D. PROVIDE (1) SOAP DISPENSER PER SINK.
- 10E. GRAB BARS WITH BACKING @ ADA UNITS. PROVIDE BACKING @ UNIVERSAL DESIGN UNITS
- 10F. CLEARLY MARKED. ADDRESS NUMBERS
- 10G. (2) TOWEL BARS
- 10H. TOILET PARTITIONS
- 10I. RECESSED MED. CAB. WITH MIRROR
- 10J. PROVIDE NEW, 12" WHITE, WIRE SHELF. PROVIDE 1" SATIN NICKEL METAL ROD IN CLOSETS
- 10K.MOVEABLE PARTITIONS
- 11.EQUIPMENT (SEE AN4 AND MEP FOR ADDITIONAL INFO)
- 11A. ALL APPLIANCES AND FIXTURES TO BE ENERGY STAR RATED PER AN SHEETS AND ADA COMPLIANT AT ADA UNITS PER SITE PLAN
- 11B. FREE STANDING OVEN AND RANGE WITH HOOD, SIDE WALL VENT
- 11C. DISHWASHER PER PLUMBING
- 11D. REFRIGERATOR WITH SELF DEFROSTING FREEZER
- 11E. WASHER/DRYER
- 11F. FURNISHINGS SHOWN FOR REF. ONLY, NIC
13. ACCESSIBLE ELEMENTS (SEE AN1-3 FOR ADDITIONAL INFO AND SITE PLAN FOR APPLICABLE UNITS)
- 13A. 30"x42" CLEAR SPACE
- 13B. 5" TURNING RADIUS OR 5" T" SPACE
- 13C. 30" WIDE WORKSPACE WITH ADJUSTABLE OR LOWERABLE COUNTERTOP SPACE PER 804.3/AN3
- 13D. 18" PUSH AND 12" PULL CLEARANCE AT LATCH SIDE, TYP.
- 13E. REMOVEABLE BASE CABINETS PER 804.3/AN3. CONTINUE FLOORING TO BACK WALL
- 15/16. MEP
- 15A. SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES
- 15B. TOILET/URINAL PER PLUMBING
- 15C. SINK PER PLUMBING
- 15D. CONDENSER PER PLUMBING
- 15E. WATER HEATER PER PLUMBING
- 15F. HVAC PER MECH
- 15G. TUB AND SURROUND OR ROLL-IN SHOWER AT FIRST FLOOR OF ADA UNITS PER PLUMBING: HOTEL SHOWER WAND AND GRAB BARS AT ADA UNITS, OFFSET CONTROLS @ ADA AND U.D. UNITS
- 15H. SEE ELECTRICAL PLANS FOR ADDITIONAL REFERENCE
- 15I. DRINKING FOUNTAINS PER PUMBING

LEGEND

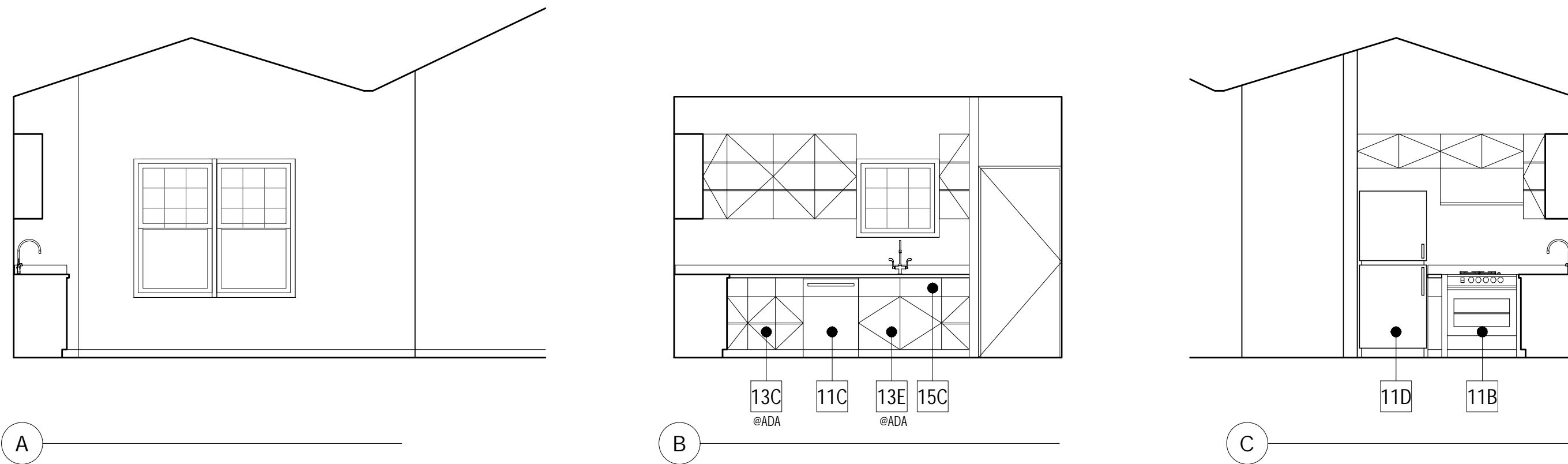
- METAL ROOFING/SIDING. FACTORY FINISH FROM STANDARD COLORS, TBD BY OWNER
- COMPOSITION ROOF. STANDARD COLORS, TBD BY OWNER
- HARDI BOARD4 AND 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER
- HARDI BOARD, 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER
- HARDI BOARD. CEDAR SHAKES, RANDOM EDGE DOWN, STANDARD MFR. COLORS 1 AND 2 TBD BY OWNER
- CORONADO VILLA STONE VENEER COLOR TBD BY OWNER



2BR BATH

Scale: 1/4" = 1'-0"

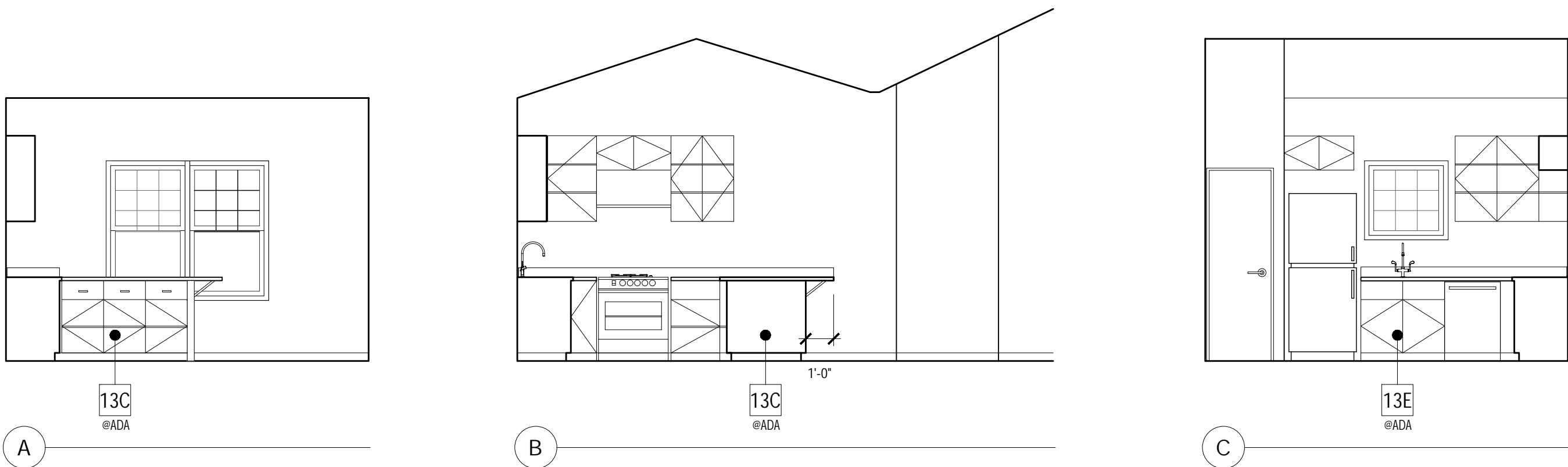
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2BR KITCHEN

Scale: 1/4" = 1'-0"

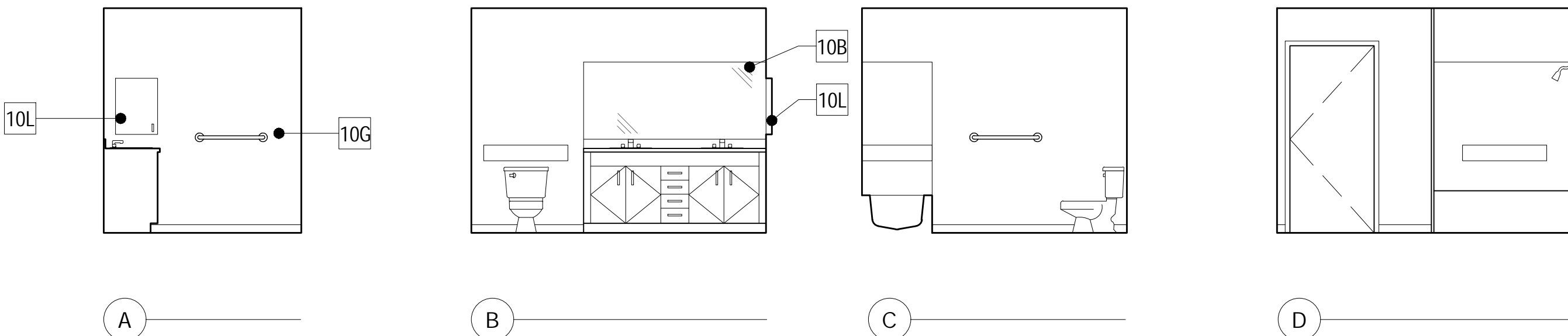
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2BR KITCHEN

Scale: 1/4" = 1'-0"

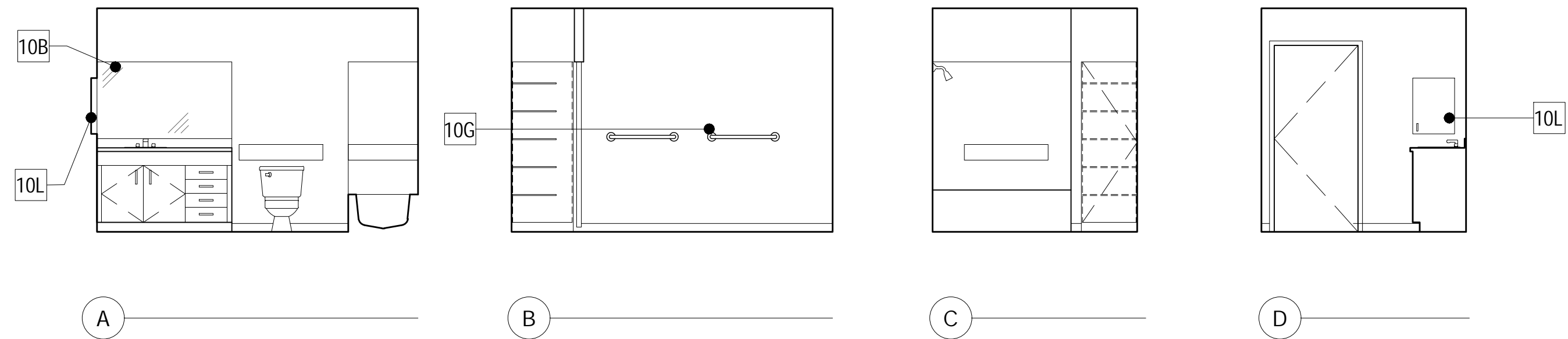
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3 BR BATH 1

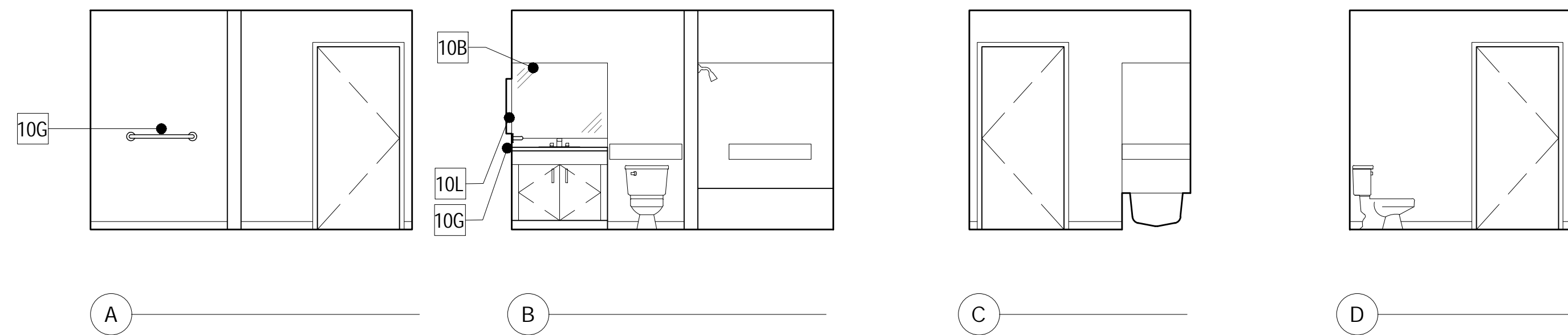
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4



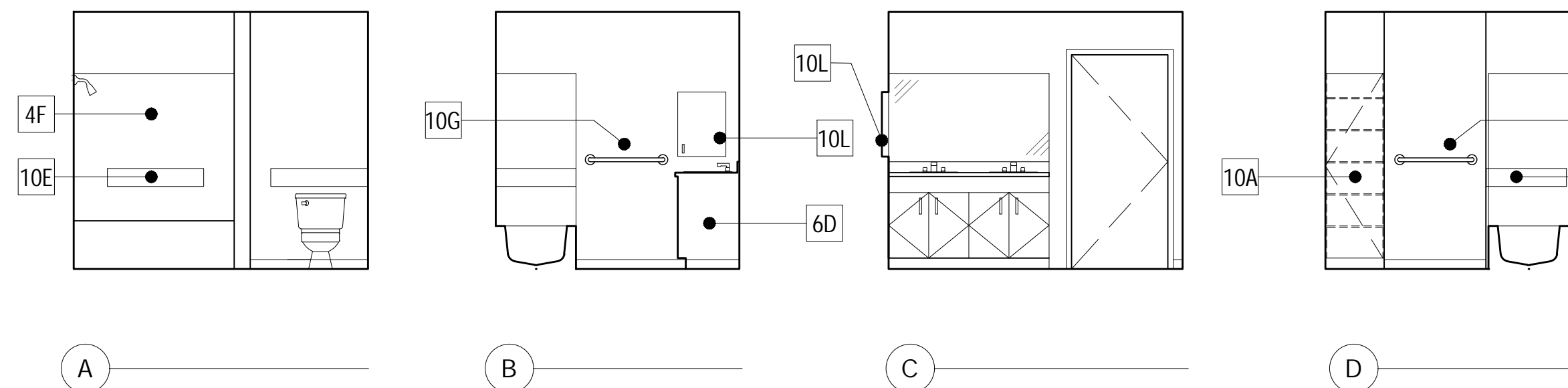
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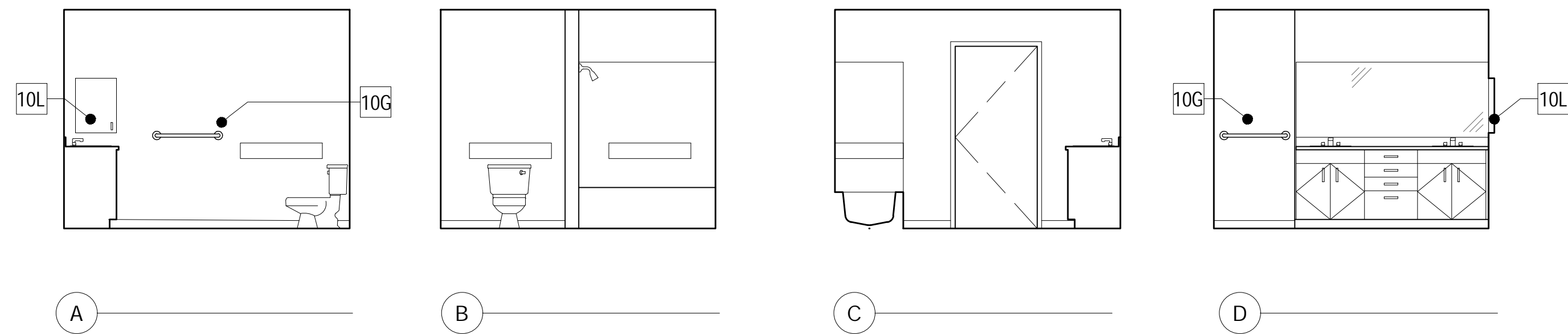
## 3BR BATH 1

Scale: 1/4" = 1'-0"



## 3BR BATH 2

Scale: 1/4" = 1'-0"



## 3BR BATH 1

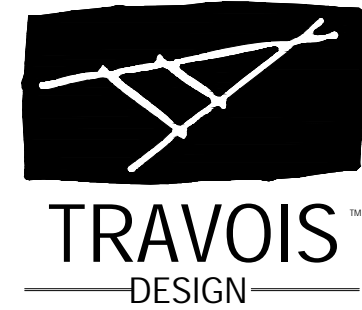
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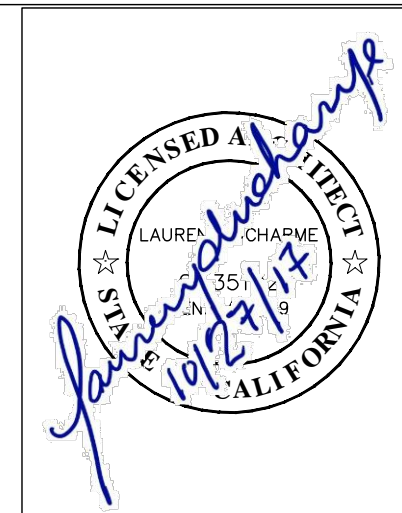
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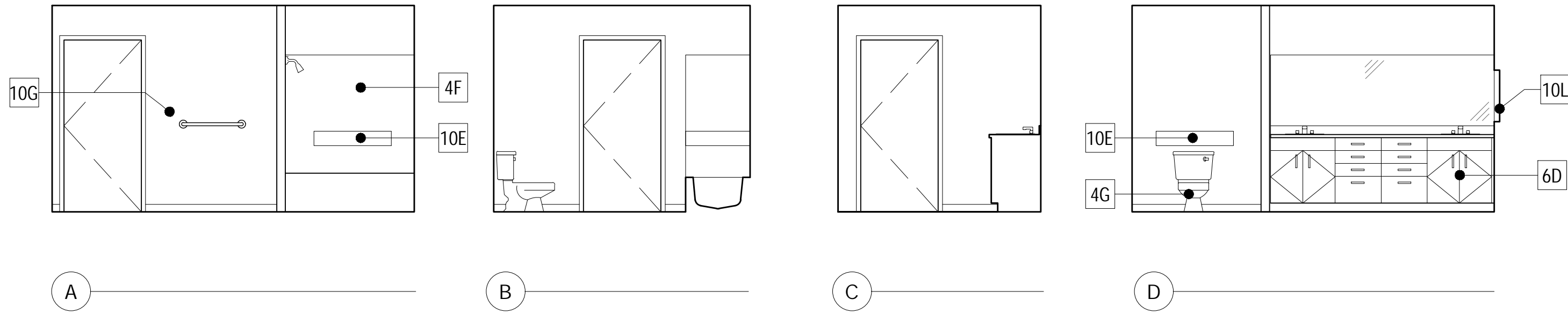
REVISION	DATE
25% CDs	06/30/17
40% CDs	07/28/17
75% CDs	09/22/17
90% CDs	10/16/17
100% CDs	10/27/17

FOR CONSTRUCTION 10/27/17

SHEET

A701

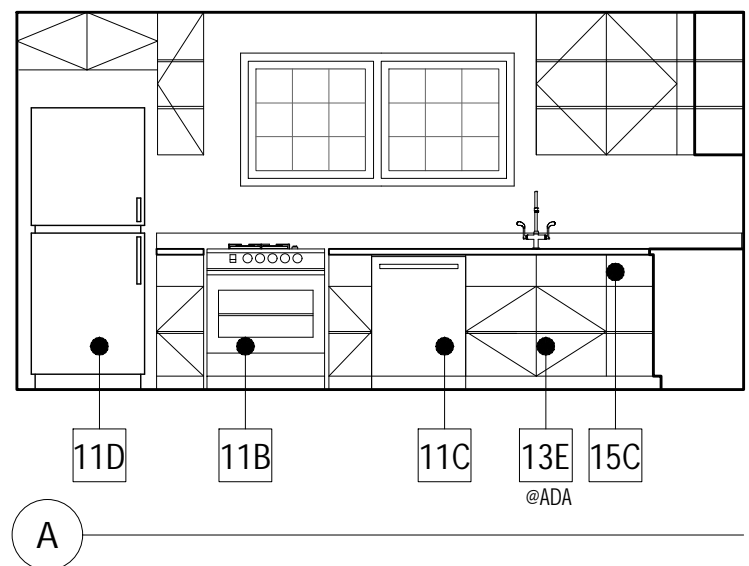
INTERIOR  
ELEVATIONS



## 3BR BATH 2

Scale: 1/4" = 1'-0"

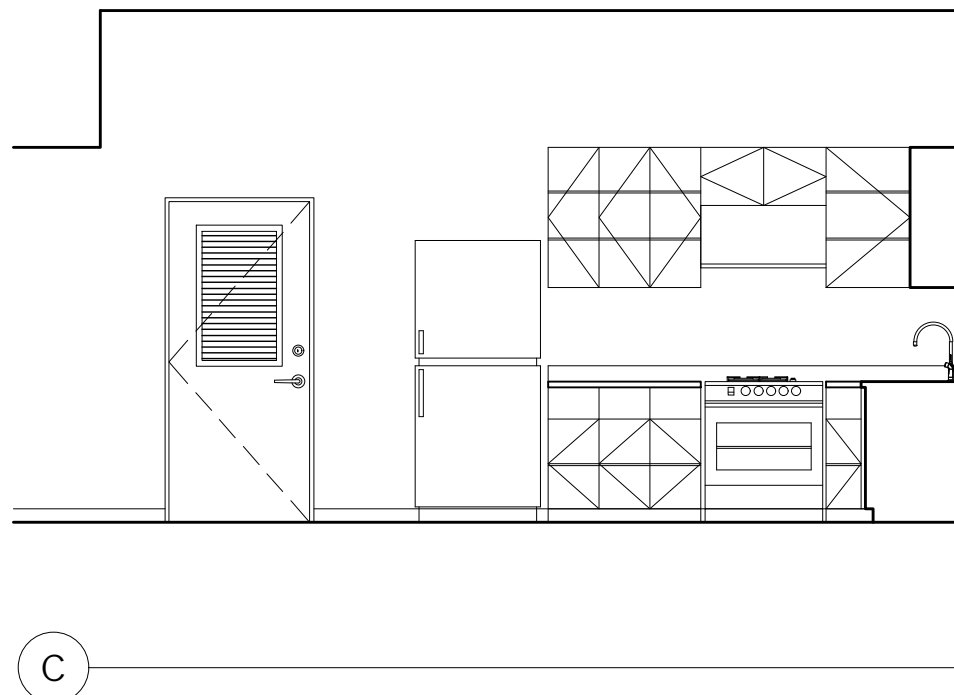
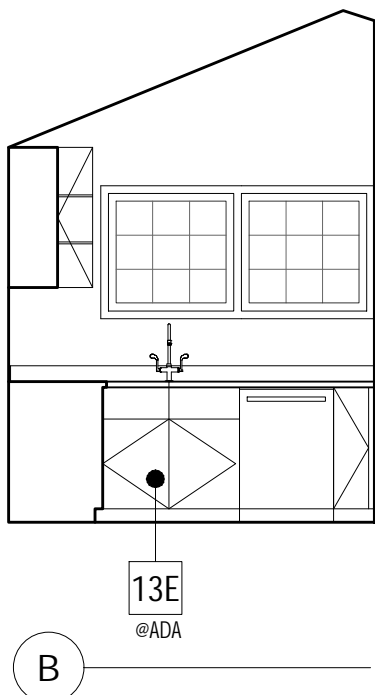
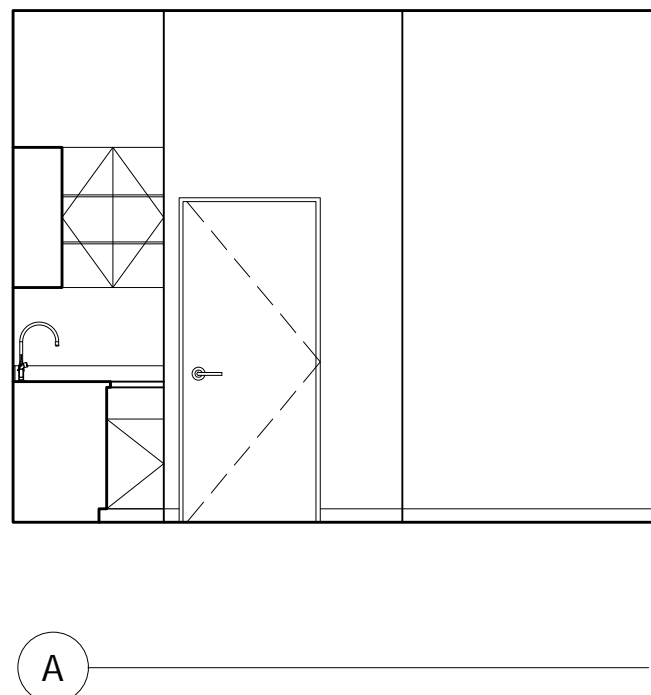
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## 3BR KITCHEN

Scale: 1/4" = 1'-0"

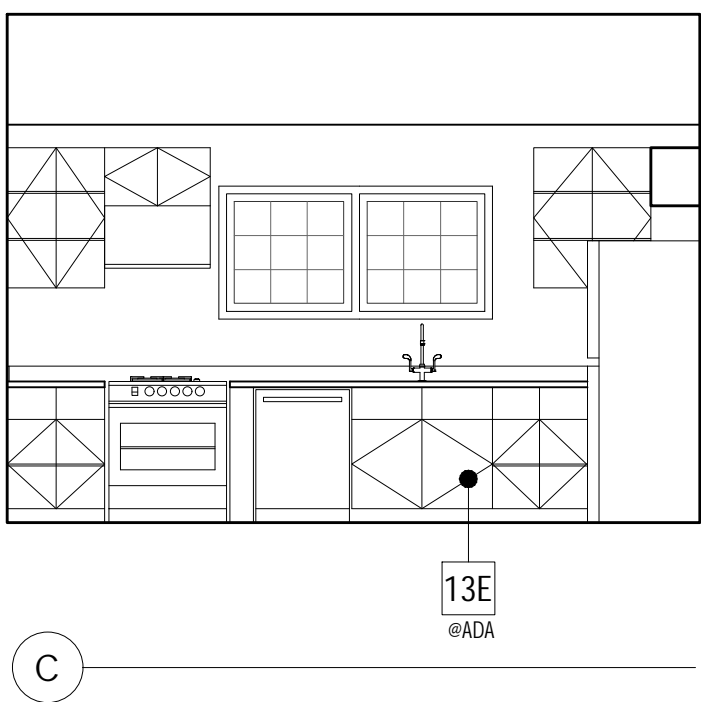
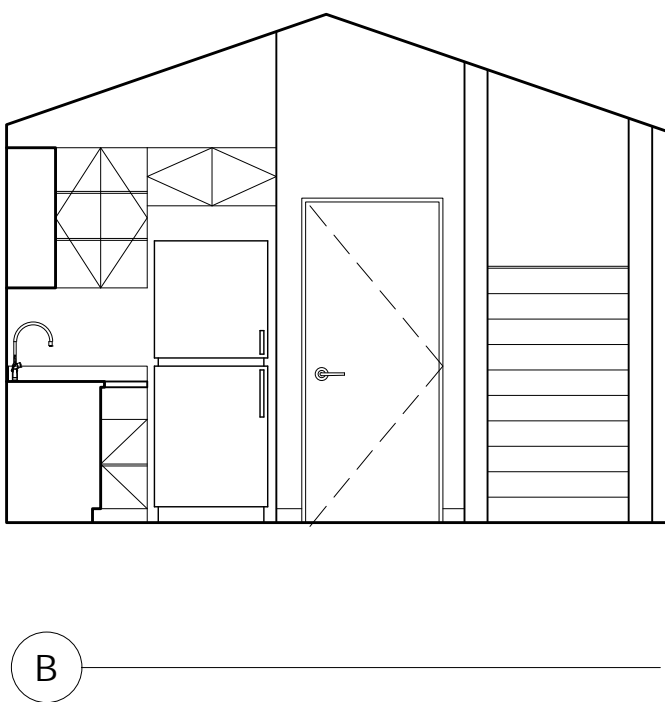
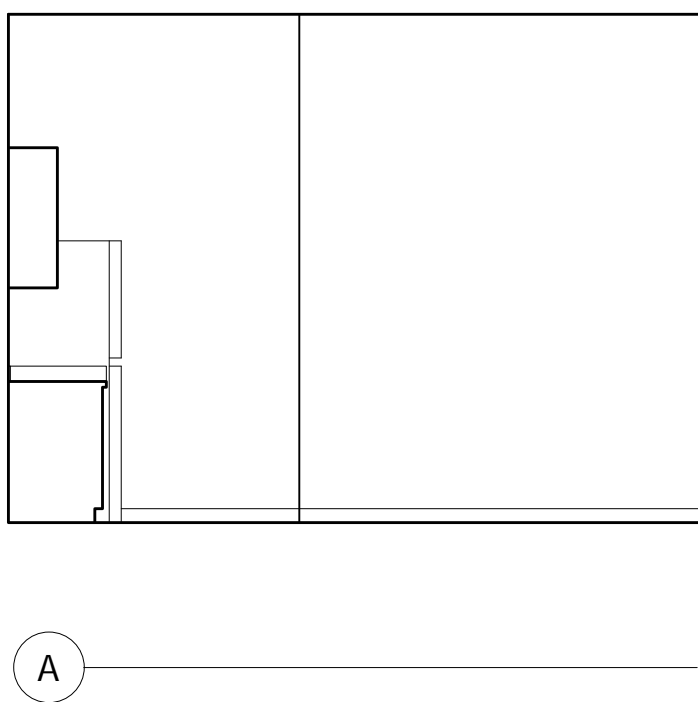
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## 3BR KITCHEN

Scale: 1/4" = 1'-0"

11



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Scale: 1/4" = 1'-0"

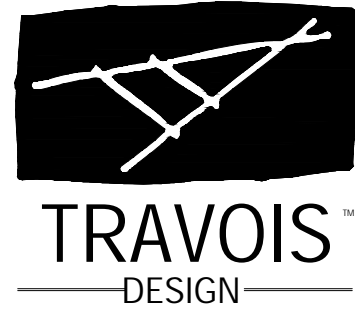
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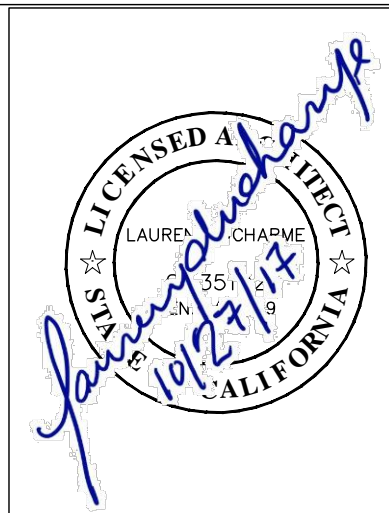
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REVISION	DATE
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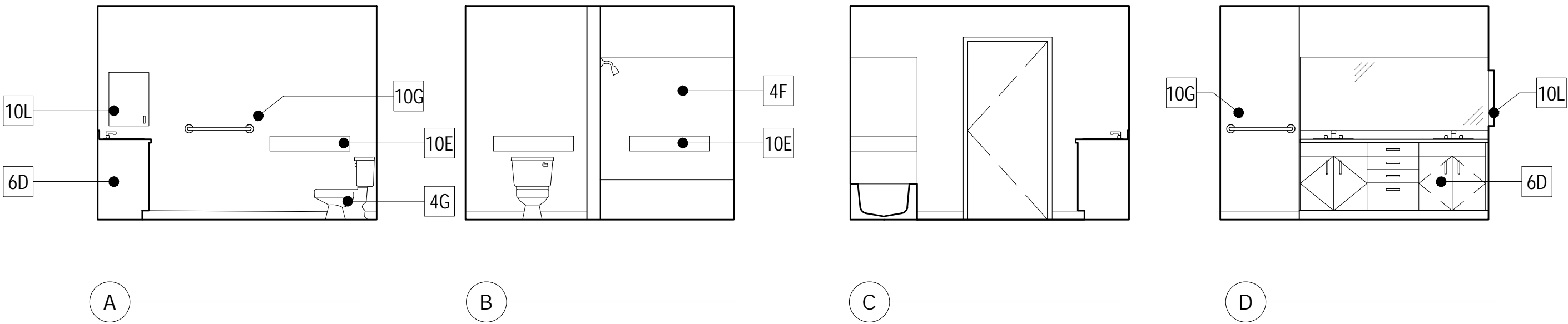
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SHEET

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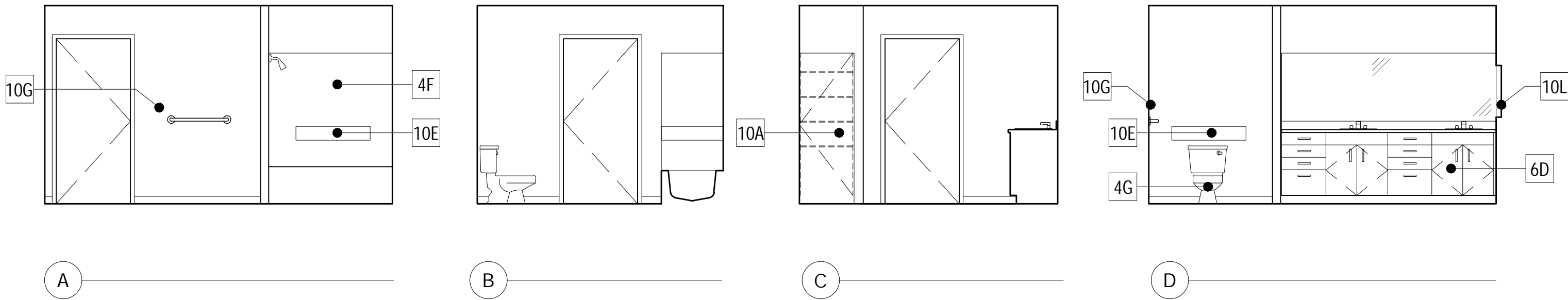
INTERIOR  
ELEVATIONS



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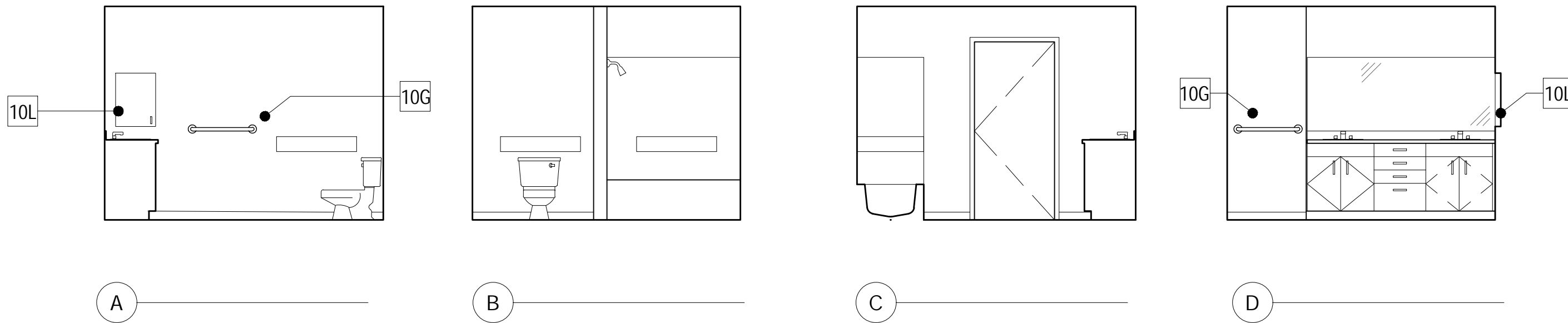
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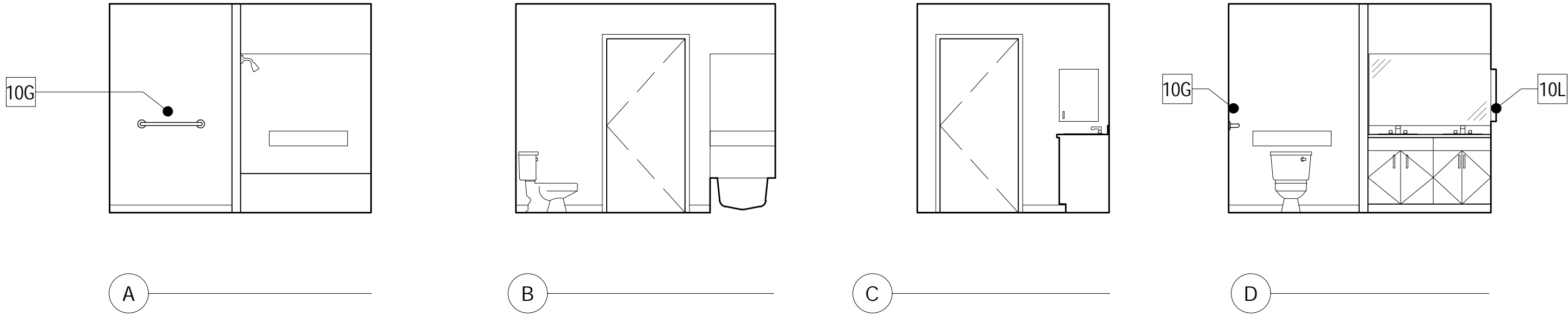
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15



4 BR BATH 2

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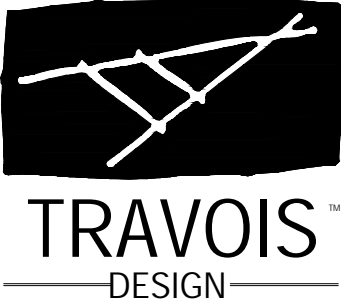
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- 13A. 30"x42" CLEAR SPACE
- 13B. 5' TURNING RADIUS OR 5' "T" SPACE
- 13C. 30" WIDE WORKSPACE WITH ADJUSTABLE OR LOWERABLE COUNTERTOP SPACE PER 804.3/AN3
- 13D. 18" PUSH AND 12" PULL CLEARANCE AT LATCH SIDE, TYP.
- 13E. REMOVEABLE BASE CABINETS PER 804.3/AN3. CONTINUE FLOORING TO BACK WALL
- 15/16. MEP
- 15A. SEE MEP DRAWINGS FOR FIXTURES TYPES AND SCHEDULES
- 15B. TOILET/URINAL PER PLUMBING
- 15C. SINK PER PLUMBING
- 15D. CONDENSER PER PLUMBING
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- 15H. SEE ELECTRICAL PLANS FOR ADDITIONAL REFERENCE
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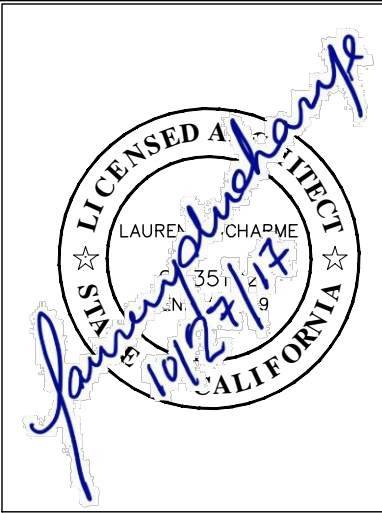
LEGEND

- METAL ROOFING/SIDING, FACTORY FINISH FROM STANDARD COLORS, TBD BY OWNER
- COMPOSITION ROOF, STANDARD COLORS, TBD BY OWNER
- HARDI BOARD4 AND 8" LAP SIDING, FACTORY FINISH, COLORS 1 & 2 TBD BY OWNER
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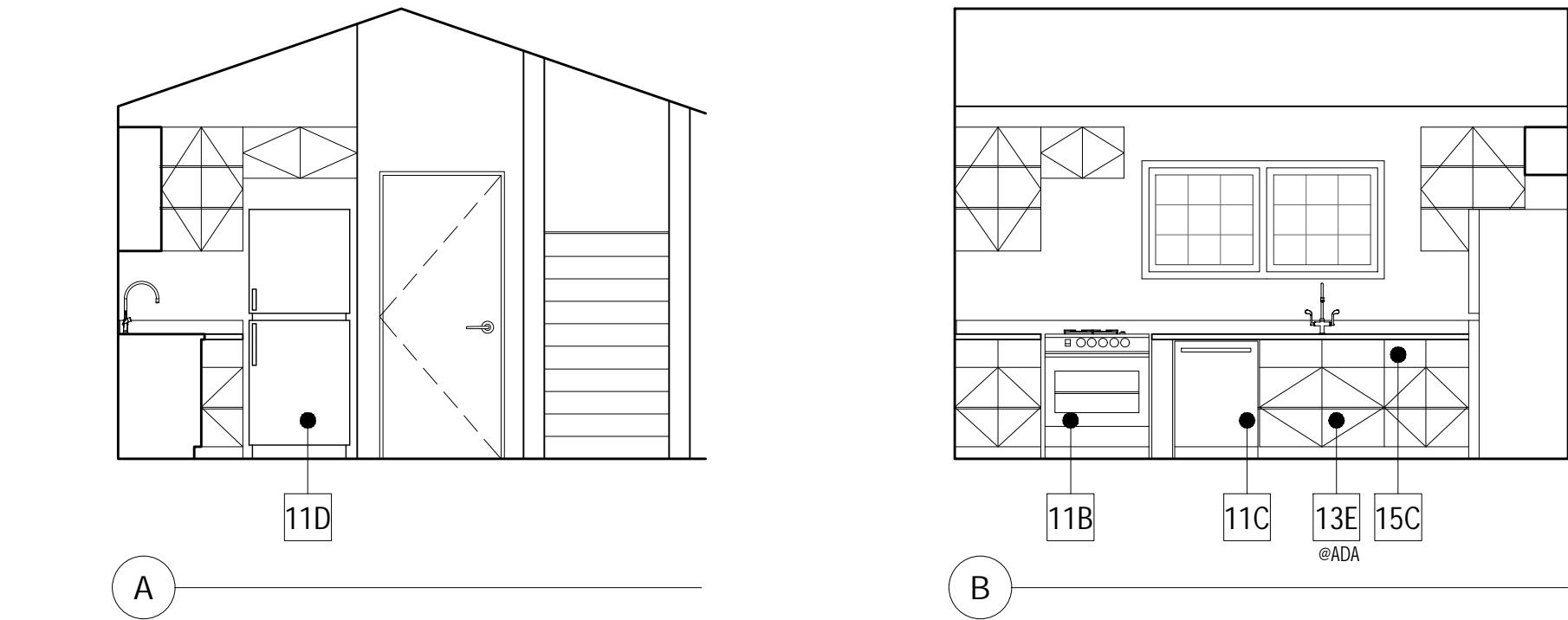
25% CDs	06/30/17
40% CDs	07/28/17
75% CDs	09/22/17
90% CDs	10/16/17
100% CDs	10/27/17

FOR CONSTRUCTION 10/27/17

SHEET

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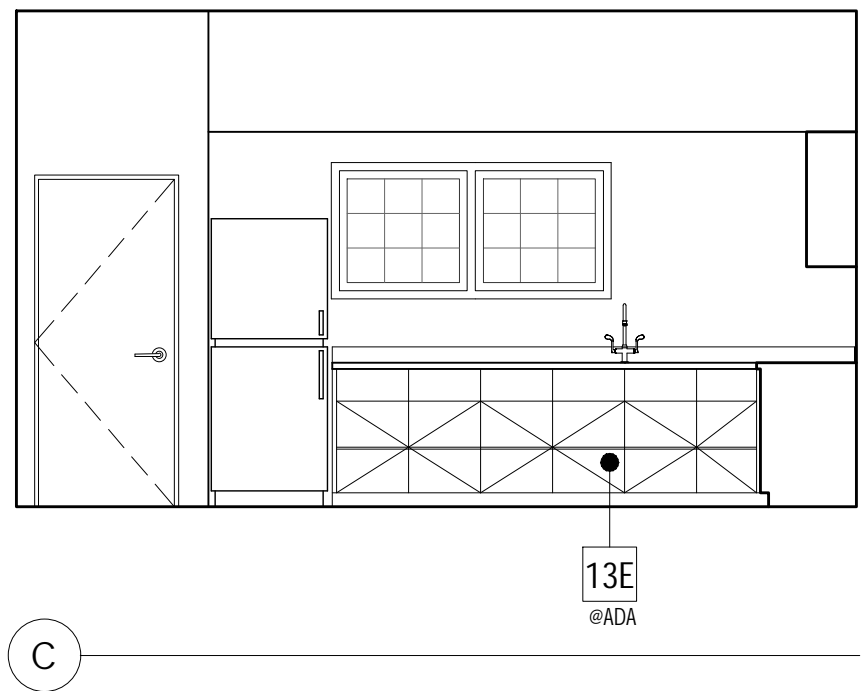
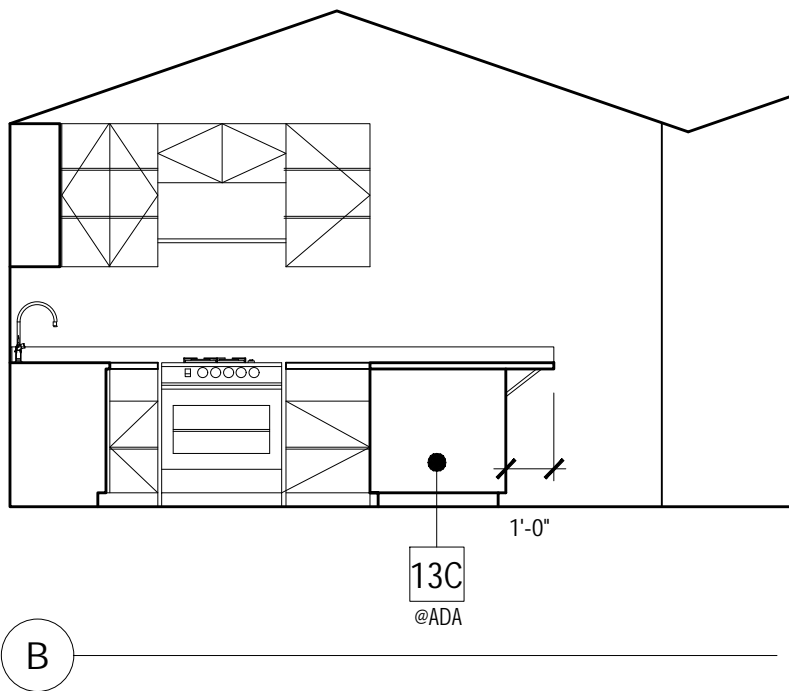
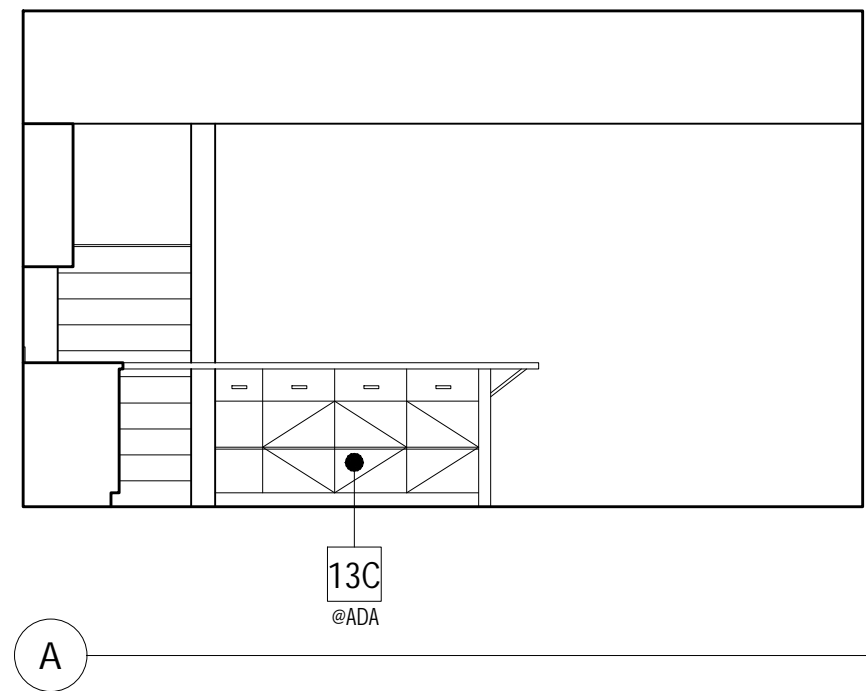
INTERIOR  
ELEVATIONS



## 4 BR KITCHEN

Scale: 1/4" = 1'-0"

17



## 4 BR KITCHEN

Scale: 1/4" = 1'-0"

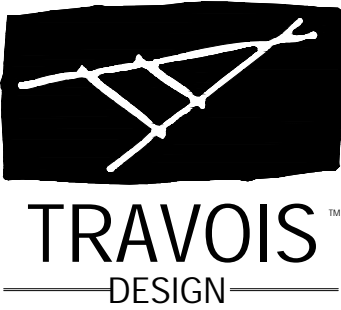
18

### GENERAL NOTES (ORGANIZED BY CSI DIVISIONS)

- GENERAL
- 1A. SEE AN4 FOR SPECIFICATIONS AND OTHER DRAWINGS FOR INFO NOT SHOWN
2. SITE WORK
- 2A. REFER TO CIVIL FOR BUILDING LOCATIONS AND ADDITIONAL INFORMATION
3. CONCRETE
- 3A. FOUNDATIONS TO BE SLAB ON GRADE OR RAISED CIP. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION AND LOCATIONS
- 3B. PRE-CAST SPLASHBLOCK
- 3C. VENEER STONE
- 3D. CONC. PATIO, BROOM FINISH
5. METALS
- 5A. GUTTER AND DOWNSPOUT
- 5B. 12" METAL ICE BREAK AT ALL DOWNSLOPES
- 5C. VENTED ALUMINUM SOFFIT W/INSECT/ FIRE SCREEN
- 5D. METAL ROOF OVER UNDERLAYMENT PER LEGEND
- 5E. METAL PANEL
6. WOOD AND PLASTICS
- 6A. ALL WALL DIMENSIONS TO FACE OF STUD OR CENTER OF ROUGH OPENING, U.N.O. SEE ATS LEGEND FOR CLARIFICATIONS
- 6B. SEE S SHEETS FOR WALL FRAMING AND TYPES NOT SPECIFICALLY REFERENCED. ALL INTERIOR WALLS TYPE B, U.N.O.
- 6C. SEE ATS FOR TYP. WALL TYPES
- 6D. ALL PLUMB. & EXTERIOR WALLS SHALL BE 2X6 CONSTRUCTION U.N.O., WALL TYPES A AND C
- 6E. COLUMNS PER STRUCTURAL
- 6F. FINAL R.O. PER DOOR/W/DW MFR
- 6G. ALL DOORS TO BE 3 1/2" FROM NEAREST STUD WALL, U.N.O.
- 6H. CABINETS PER ENLARGED PLANS
- 6J. COUNTERTOP
- 6K. 1 1/2" WOOD HANDRAIL, CLEAR COAT GL. GUARDRAIL PER DETAIL 08/A5 02
7. THERMAL AND WATER PROOFING PROTECTION
- 7A. INSULATION
- 7B. ANY REMOVABLE FORMWORK TO UTILIZE LOW-TOXICITY FORM RELEASE AGENTS
- 7C. ALL WATERPROOFING SYSTEMS TO BE WATER BASED
- 7D. RIDGE VENT
- 7E. TYVEK BUILDING WRAP
- 7F. Z FLASHING
- 7G. HARDI BOARD SIDING PER LEGEND
- 7H. 5/4 4" PRE-FIN. HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD
- 7J. 5/4 4" PRE-FIN. HARDI BOARD PRE-MADE EXT. CORNER TRIM BOARD. STANDARD COLOR, TBD
- 7K. PRE-FINISHED HARDI BOARD FASCIA, STANDARD COLOR, TBD
- 7L. UNDERSLAB VAPOR BARRIER
- 7M. 5/4 6" PRE-FINISHED HARDI BOARD TRIM BOARD. STANDARD COLOR, TBD
- 7N. COMP. ROOF SHINGLES OR TPO MEMBRANE, SEE LEGEND
8. DOORS AND WINDOWS
- 8A. SEE DOOR AND WINDOW SCHEDULE
- 8B. 24"x48" DRYWALL ATTIC ACCESS SET ON CLEAT. EXACT LOCATION TBD IN FIELD AND COORDINATED WITH TRUSS LOCATIONS
9. FINISHES
- 9A. SEE FINISH SCHEDULE AND SPECIFICATIONS FOR ADD'L INFO
- 9B. ALL MATERIALS TO WRAP TO NEAREST INSIDE CORNER OR TO TRANSITION AS SHOWN
- 9C. ALL WALL SURFACES IN BATHS, RESTROOMS, LAUNDRY, UTILITY, KITCHEN & WET LOCATIONS, AREAS IMMEDIATELY ADJ. TO RANGE TOP & HOT WATER HEATER TO RECEIVE WATER RESIST. PURPLE GYP. BD.
- 9D. GYPSUM BOARD
10. SPECIALTIES
- 10A. PROVIDE (5) TIERS OF 24" DEEP MDF SHELVING. PAINT TO MATCH WALLS, TYP.
- 10B. WALL MOUNTED MIRROR ABOVE SINK AND COUNTER
- 10C. PROVIDE (1) CHROME TOILET PAPER TOWEL HOLDER PER TOILET/STALL
- 10D. PROVIDE (1) SOAP DISPENSER PER SINK.
- 10E. GRAB BARS WITH BACKING @ ADA UNITS. PROVIDE BACKING @ UNIVERSAL DESIGN UNITS
- 10F. CLEARLY MARKED, ADDRESS NUMBERS
- 10G. (2) TOWEL BARS
- 10H. TOILET PARTITIONS
- 10I. RECESSED MED. CAB. WITH MIRROR
- 10J. PROVIDE NEW, 12" WHITE, WIRE SHELF. PROVIDE 1" SATIN NICKEL METAL ROD IN CLOSETS
- 10K. MOVEABLE PARTITIONS
11. EQUIPMENT (SEE AN4 AND MEP FOR ADDITIONAL INFO)
- 11A. ALL APPLIANCES AND FIXTURES TO BE ENERGY STAR RATED PER AN SHEETS AND ADA COMPLIANT AT ADA UNITS PER SITE PLAN
- 11B. FREE STANDING OVEN AND RANGE WITH HOOD, SIDE WALL VENT
- 11C. DISHWASHER PER PLUMBING
- 11D. REFRIGERATOR WITH SELF DEFROSTING FREEZER
- 11E. WASHER/DRYER
- 11F. FURNISHINGS SHOWN FOR REF. ONLY, NIC
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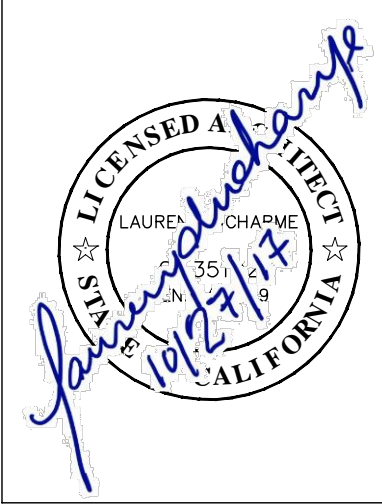
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