

PROJECT CONTACTS

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1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770

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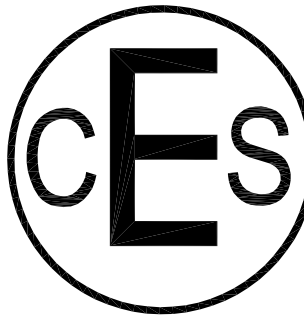
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Civil Engineering Services

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Engineering, Land Planning, and Environmental

LIST OF DESIGN MANUALS

- CITY OF CLARKSVILLE, TN. CODES
- MUTCD
- Clarksville Storm Water Management Manual, Volumes 1-3, September 2021.
- USDA NRCS Technical Release 55, Urban Hydrology for Small Watersheds (TR-55), June 1986.
- Tennessee Erosion & Sediment Control Handbook, Fourth Edition, August 2012.

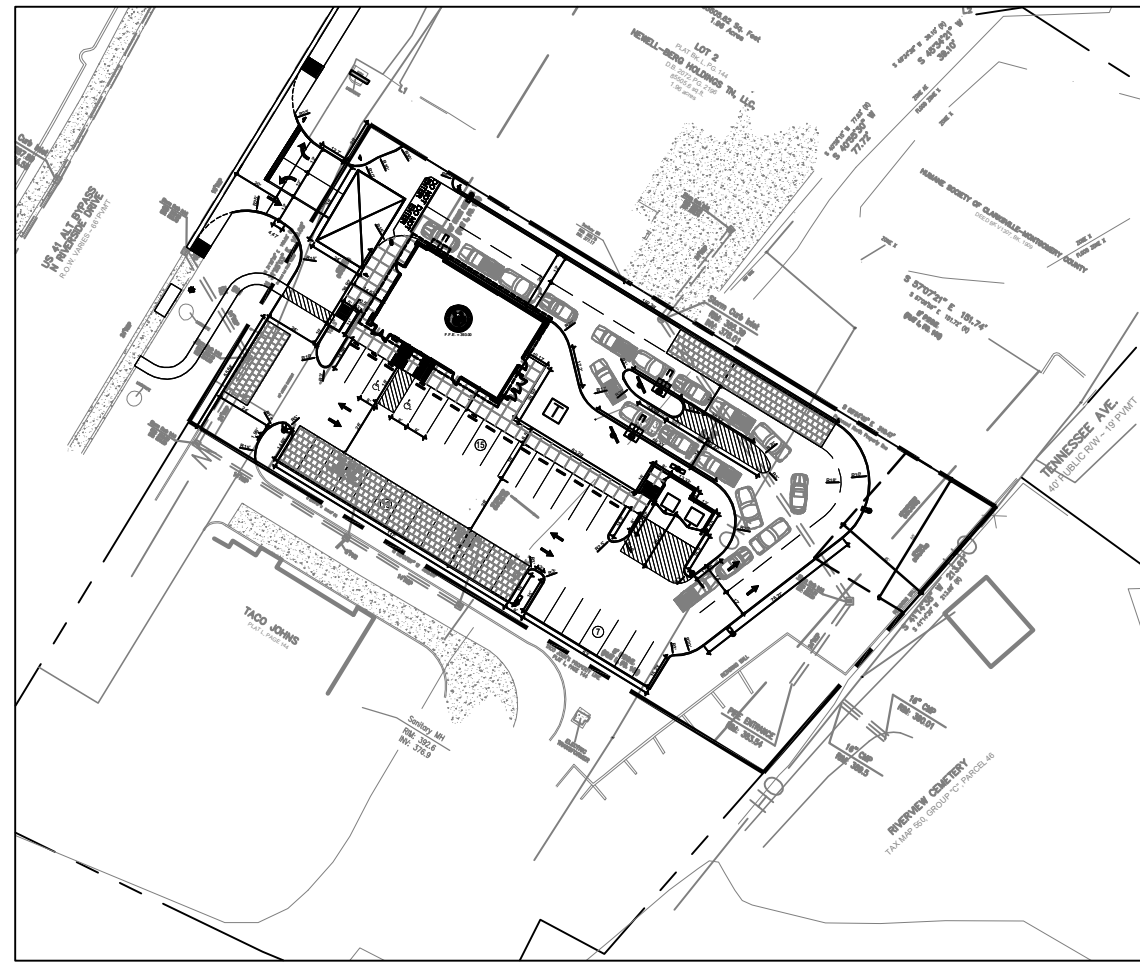
SEE CFT NV DEVELOPMENTS, LLC REAL PROPERTY PURCHASE AND SALE
AGREEMENT AND JOINT ESCROW INSTRUCTIONS, EXHIBIT "D" TO REAL PROPERTY
PURCHASE AGREEMENT FOR SELLERS WORK SCOPE ON SHEET C01.1

CIVIL CONSTRUCTION PLANS
FOR

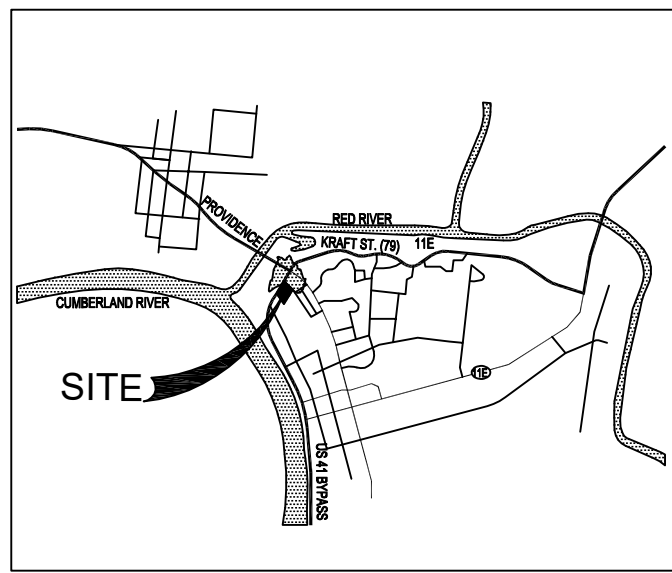


PANDA EXPRESS
955 N. RIVERSIDE DRIVE
CLARKSVILLE, TN. 37040
PART OF TAX MAP 550-B, PARCEL 00500

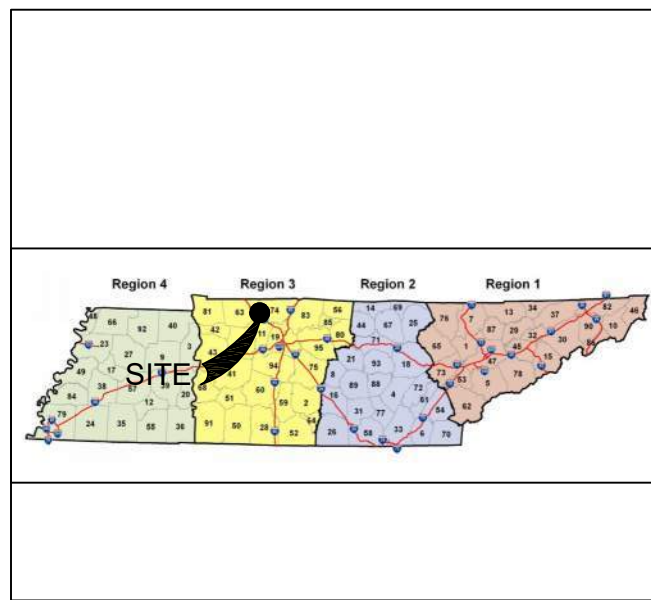
PREPARED FOR:
PANDA EXPRESS INC.
1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770



SITE MAP
NOT TO SCALE



LOCATION MAP
NOT TO SCALE



REGIONAL MAP
NOT TO SCALE

SHEET INDEX									
NO.	TITLE	ISSUE 01 - (PERMIT/BID) 09/13/2022							
C01.0	CIVIL COVER SHEET	●							
C01.1	GENERAL NOTES	●							
1 OF 2	ALTA/ACSM SURVEY (BY OTHERS)	●							
2 OF 2	ALTA/ACSM SURVEY (BY OTHERS)	●							
C02.1	DEMOLITION PLAN	●							
C03.0	SITE PLAN	●							
C03.1	HARDSCAPE DETAILS I	●							
C03.2	HARDSCAPE DETAILS II	●							
C03.3	HARDSCAPE DETAILS 3	●							
C04.0	UTILITY PLAN	●							
C04.1	UTILITY DETAILS	●							
C05.0	GRADING PLAN	●							
C05.1	DRAINAGE PLAN	●							
C05.2	GRADING DETAILS	●							
C06.0	INITIAL EROSION CONTROL PLAN	●							
C06.1	FINAL EROSION CONTROL PLAN	●							
C06.2	EROSION CONTROL DETAILS	●							
C07.0	TRUCK TURN PLAN	●							
L01.0	LANDSCAPE PLAN	●							
L01.1	LANDSCAPE PLAN	●							

SITE DATA TABLE

- ZONING:
C2 GENERAL COMMERCIAL DISTRICT
- REQUIRED BUILDING SETBACKS:
FRONT (W)= 20'
REAR (E) = 25'
SIDE (N) = N/A
SIDE (S) = N/A
- SITE ACREAGE:
46,099 SF / 1.06 AC
- FLOOR AREA RATIO:
PANDA EXPRESS = 2,696 SF BLDG / SITE AREA
46,099= 5.85%
- LIMITS OF DISTURBANCE = 51,861 SF / 1.19 AC
- PROPOSED SITE IMPERVIOUS SURFACE RATIO
TOTAL SITE = 46,099 SF
PAVEMENT/SIDEWALKS = 29,591 SF
BUILDING = 2,696 SF
TOTAL IMPERVIOUS = 32,289 SF
TOTAL PERVIOUS = 13,810 SF
PERCENT IMPERVIOUS = 70.04%
- PARKING
RESTAURANT: 10/1000 SF
PANDA EXPRESS - 2,661 SF = 27 SPACES
TOTAL NON-ADA PARKING: 34
TOTAL ADA PARKING: 2
TOTAL PARKING PROVIDED: 34
- REQUIRED PARKING SETBACKS:
FRONT (W)= 0'
REAR (E) = 0'
SIDE (N) = 0'
SIDE (S) = 0'
- FLOOD HAZARD:
F.I.R.M. MAP NO. #47125C0236E
- FLOOD STATEMENT:
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE(S) X, FLOOD ZONE X AND
ZONE AE OF THE FLOOD INSURANCE RATE MAP NUMBER 47125C0236E WHICH BEARS
AN EFFECTIVE DATE OF 01/15/2021 AND IS IN A SPECIAL FLOOD HAZARD AREA. NO FIELD
SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND A FLOOD ELEVATION
CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A
VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.



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91770
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REVISIONS:

ISSUE DATE:

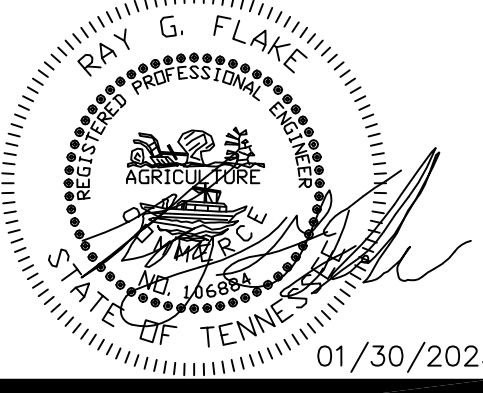
1	PERMIT/BID	09-13-2022
1	CONSTRUCTION	01-30-2023

PANDA PROJECT #: D23503

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PANDA EXPRESS

955 N. RIVERSIDE DRIVE
CLARKSVILLE, TN. 37040

TRUE WARM & WELCOME 2600-2022

COVER SHEET

C01.0

PANDA HOME 2600 R4

UTILITY NOTES

1.

ALL SEWER, ELECTRIC, AND TELEPHONE SERVICE LINES AND EXTENSIONS ARE TO BE CONSTRUCTED TO THE RESPECTIVE UTILITY COMPANY SPECIFICATIONS. UTILITY DISCONNECTIONS TO BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
2.

THE GENERAL CONTRACTOR IS PARTICULARLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES SHOWN HEREON IS BASED ON UTILITY COMPANY RECORDS, AND WHERE POSSIBLE, FILLED MEASUREMENTS. THE CONTRACTOR SHALL NOT RELY UPON THIS INFORMATION HAS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS PRIOR TO THE EXCAVATION AND REQUEST FIELD VERIFICATION OF UTILITY LOCATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE EXISTING UTILITIES CONFLICTING WITH IMPROVEMENTS SHOWN HEREON IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
3.

BEFORE INSTALLATION OF WATER LINES, STORM SEWERS OR SANITARY SEWERS, THE CONTRACTOR SHOW EXCAVATE AND VERIFY ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT HE IS NOT NOTIFIED OF DESIGN CONFLICTS PRIOR TO CONSTRUCTION.
4.

ALL SEWER CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LOCAL SERVICE PROVIDER SEWER SPECIFICATIONS AND DETAILS (LATEST REVISIONS).
5.

ALL SEWER SERVICE LINES, SHALL BE TESTED BY THE CONTRACTOR. THE TESTS SHALL BE CONDUCTED IN THE PRESENCE OF THE LOCAL SERVICE PROVIDER REPRESENTATIVE.
6.

THE CONTRACTOR SHALL PAY ANY APPLICABLE WATER AND SEWERAGE SERVICES INSPECTION FEES.
7.

THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, REPAIR ANY DAMAGE, ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTORS EXPENSE, AND COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
8.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES AND GAS LINES DO NOT CONFLICT WITH SANITARY SEWERS, SANITARY SEWER SERVICES OR STORM SEWERS.
9.

WATER SERVICE PIPE SHALL BE POLYETHYLENE (PE), DR9, LOCATION AND SIZE OF WATER SERVICE SHALL BE SHOWN ON THE UTILITY PLAN, IN COORDINATION WITH REPRESENTATIVES OF THE LOCAL WATER AUTHORITY.
10.

SEWER SERVICE SHALL BE 6" DIAMETER NON-PRESSURE POLYVINYL CHLORIDE PIPE (PVC) CONFORMING TO ASTM D 3034, SDR 26, WITH PUSH-ON RUBBER GASKETS. INSTALL IN THE LOCATIONS SHOWN HERE ON.
11.

CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN THE CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRIC COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD AND UNDERGROUND WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION.
12.

THE OWNER AND ENGINEER DO NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT, DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATIONS OF THOSE SHOWN MAY BE DIFFERENT FROM LOCATIONS DESIGNATED ON THE CONTRACT DRAWINGS. IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS BE KNOWN OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS NECESSARY TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE POSITION OF UNDERGROUND UTILITY LINES.
13.

THE DEVELOPER IS TO SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE CONTRACTOR, THE DEVELOPERS ENGINEER, THE CITIES REPRESENTATIVE AND THE CITIES ENGINEER.
14.

DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
15.

REMOVE ALL FOUNDATIONS, UNDERGROUND TANKS, PAVING, BASE ETC. IF REMAINING, BEFORE BEGINNING CONSTRUCTION.
16.

FILL ALL PLANTERS/ISLANDS TO TOP OF CONCRETE CURB WITH TOPSOIL. TOPSOIL TO BE CLEAN AND FREE OF DEBRIS, ETC.
17.

THESE PLANS, PREPARED BY CIVIL ENGINEERING SERVICES, DID NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE CIVIL ENGINEERING SERVICES REGISTERED PROFESSIONAL ENGINEER HERE ON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
18.

IN THE CASE OF CONFLICT BETWEEN THIS DRAWING AND ANY OTHER DRAWING AND/OR THE SPECIFICATIONS. THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR CLARIFICATION.
19.

ANY AND ALL FEES, LICENSES AND PERMITS NECESSARY FOR THIS CONSTRUCTION ARE TO BE OBTAINED PRIOR TO THE INITIATION OF CONSTRUCTION AND THE COST OF SAME TO BE BORNE BY THE CONTRACTOR.
20.

FOR WATER SERVICE ALL CORPORATION STOPS SHALL CONFORM TO LOCAL SERVICE PROVIDER SPECS.
21.

FITTINGS SHALL BE BRASS, CAST AND MACHINED IN ACCORDANCE WITH AWWA C800 AND AWWA C901, WITH COMPATIBLE PIPE CONNECTIONS.
22.

SERVICE SADDLES AND ANCHORS SHALL CONFORM TO ALL SERVICE PROVIDER SPECIFICATIONS.
23.

ALL SEWER SERVICE FITTINGS AND ACCESSORIES SHALL BE MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER OR PRIOR-APPROVED EQUAL.
24.

BEDDING AND INITIAL BACKFILL OVER SEWER MAINS AND SERVICES SHALL CONFORM TO THE GEOTECHNICAL REPORT RECOMMENDATIONS OR LOCAL SERVICE PROVIDER RECOMMENDATION WHICH EVER IS MORE STRICT.
25.

ALL UTILITY SERVICES IN EXISTING ROADS SHALL BE INSTALLED BY BORING. ALL TRENCHES IN EXISTING PARKING LOTS SHALL UTILIZE A CLEAN SAW CUT AND SHALL BE BACKFILLED (100 %) TO FINAL SUBGRADE WITH #57 STONE. REPAIR ROADS PER CITY REQUIREMENTS.
26.

ALL SANITARY SEWER OUTSIDE OF BUILDING MUST BE SCHEDULE 40 PVC
27.

ELLIPTICAL RCP SHALL CONFORM TO ASTM C 507 (CLASS III) AND AASHTO M 207 STANDARD SPECIFICATIONS.

UTILITY NOTES CONTINUED

28.

REINFORCED CONCRETE PIPE (RCP); O-RING SHALL CONFORM TO ASTM C 76 (CLASS III, UNLESS OTHERWISE SPECIFIED) AND AASHTO M 170 STANDARD SPECIFICATIONS, AND ASTM C 443 STANDARD SPECIFICATIONS FOR JOINTS FOR RCP USING RUBBER GASKETS.
29.

ELLIPTICAL RCP SHALL CONFORM TO ASTM C 507 (CLASS III) AND AASHTO M 207 STANDARD SPECIFICATIONS.
30.

HDPE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF AASHTO M 25 (3"-10"), M 294 (12" AND LARGER), TYPE S (CORRUGATED OUTSIDE - SMOOTH INSIDE, 4" - 60"), AND MP 7 (60" TYPE S).
31.

BELL/SPIGOT GASKET FOR HDPE PIPE SHALL BE SOIL/SILT TIGHT PER AASHTO SECTION 26 WITH RUBBER GASKET MEETING ASTM F 477.
32.

PVC STORM SEWER PIPE (12" OF LESS) AND FITTINGS SHALL BE NON-PRESSURE PVC CONFORMING TO ASTM D 3034, SDR 26, WITH PUSH-ON RUBBER GASKET JOINTS.
33.

REPAIR ALL DAMAGE TO EXISTING FEATURES(I.E. DRIVES, ROADS, YARDS, LANDSCAPING, ETC.) TO PRECONSTRUCTION CONDITION.
34.

COORDINATE THE EXACT LOCATION OF ALL UTILITIES ENTERING THE BUILDING WITH THE PLUMBING PLANS PROVIDED BY OTHERS.
35.

THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGC OF AMERICA.
36.

SOME UTILITIES CAN BE LOCATED BY CALLING THE TENNESSEE ONE CALL. THE CONTRACTOR SHALL CALL "811", PRIOR TO PROCEEDING WITH ANY EXCAVATION.
37.

REPAIR EXISTING PAVEMENT, CURBS, WALKS, LANDSCAPING, ETC. THAT ARE DAMAGED BY CONSTRUCTION ACTIVITIES TO A LIKE NEW CONDITION AT NO ADDITIONAL COST TO THE OWNER.
38.

THE PROPOSED GAS LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL GAS COMPANY BY THE CONTRACTOR.
39.

THE PROPOSED ELECTRIC LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL ELECTRIC COMPANY BY THE CONTRACTOR.
40.

THE PROPOSED TELEPHONE LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL TELEPHONE COMPANY BY THE CONTRACTOR.
41.

THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER AND AROUND THE UTILITIES THE CONTRACTOR WILL BE REQUIRED TO FURNISH SUCH EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER.
42.

PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR CONTACTING OWNERS OF ALL AFFECTED UTILITIES IN ORDER TO DETERMINE THE EXTENT TO WHICH UTILITY RELOCATIONS AND/OR ADJUSTMENTS WILL HAVE UPON THE SCHEDULE OF WORK FOR THE PROJECT. WHILE SOME WORK MAY BE REQUIRED AROUND UTILITY FACILITIES THAT WILL REMAIN IN PLACE, OTHER UTILITY FACILITIES MAY NEED TO BE ADJUSTED CONCURRENTLY WITH THE CONTRACTORS OPERATIONS.
43.

FIRE HYDRANT ASSEMBLIES (IF REQUIRED ON THESE PLANS) INCLUDE THE APPROPRIATE SIZED TEE (WITH KICKER), 6" LINE TO HYDRANT, 6" GATE VALVE (WITH VALVE BOX), AND FIRE HYDRANT (WITH KICKER). HYDRANT SHALL BE INSTALLED AT LOCATION SHOWN ON THE PLANS.
44.

BACKFLOW PREVENTION DEVICE FOR THE DOMESTIC WATER SERVICE SHALL BE LOCATED INSIDE THE BUILDING UNLESS OTHERWISE SPECIFIED IN THESE PLANS. COORDINATE WITH LOCAL SERVICE PROVIDER.
45.

MAINTAIN 18" MINIMUM VERTICAL CLEARANCE AT UTILITY CROSSING.

GRADING & DRAINAGE NOTES

1.

SEE LANDSCAPE PLAN FOR REQUIRED TREES AND GROUND COVER.
2.

SLOPE OF SURFACE GRADE SHALL BE A MINIMUM OF 1.00%
3.

MAXIMUM CUT OF FILL SLOPES IS 2H:1V.
4.

THE CONTRACTOR SHALL PROVIDE CLEAN, SUITABLE MATERIAL FOR REQUIRED FILL. SHOULD A SUFFICIENT QUANTITY OF SUITABLE MATERIAL NOT BE AVAILABLE FROM THE REQUIRED EXCAVATION ON THE SITE.
5.

ALL FILL SHOULD BE PLACED PER THE GEOTECHNICAL REPORT. COMPACTION MUST BE CERTIFIED BY A REGISTERED PROFESSIONAL SOILS ENGINEER IN THE STATE THE PROJECT IS LOCATED PRIOR TO THE INSTALLATION OF PAVEMENTS, CURBS, SIDEWALKS OR FOOTINGS OF ANY TYPE.
6.

DETENTION POND, DETENTION OUTLET STRUCTURES AND TEMPORARY SEDIMENT POND FEATURES ARE TO BE FULLY CONSTRUCTED AND OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
7.

LENGTH OF RIP-RAP PADS AT PIPE OUTLET STRUCTURES TO BE A MINIMUM LENGTH OF (6) SIX TIMES THE DIAMETER OF THE PIPE.
8.

JURISDICTIONAL LAND DISTURBANCE PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.

DEMOLITION NOTES

1.

PRIOR TO COMMENCEMENT OF DEMOLITION THE CONTRACTOR WILL COORDINATE HIS ACTIVITIES WITH ALL THE UTILITY COMPANIES SERVING THIS AREA. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
2.

THE CONTRACTOR IS TO COMPLETELY REMOVE AND DISPOSE OF ALL STRUCTURES AND BUILDINGS THAT ARE SO INDICATED INCLUDING FOUNDATIONS, TIMBER AND BRUSH, EXCEPT AS OTHERWISE INDICATED. STUMPS AND ROOTS, EXISTING PAVEMENT, OTHER STRUCTURES AS SHOWN OR REASONABLY IMPLIED IN THE DRAWINGS.
3.

EXCEPT IN AREAS WHERE EXISTING TREES SHALL BE PRESERVED, A MINIMUM DEPTH OF REMOVAL SHALL BE (2) FOOT BELOW SUBGRADE, IN ROADWAY AREAS AND TO ORIGINAL SOILS ELSEWHERE. WHERE EXISTING BUILDINGS ARE TO BE DEMOLISHED, ALL TRACES OF FOUNDATIONS AND UNDERGROUND TO BE REMOVED (UNLESS OTHERWISE NOTED ON PLANS), THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL WASTER MATERIAL.
4.

WHERE PAVING OR STRUCTURES ARE TO BE REMOVED WHICH ABUT OR ARE A PART OF CONNECTED FACILITIES (THAT ARE OFF-SITE), RESTORATION OF ANY DAMAGE THAT MIGHT RESULT FROM DEMOLITION IS TO BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
5.

THE LOCATION OF ALL EXISTING UTILITIES, STORM DRAINAGE AND TREES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. PRIOR TO THE START OF DEMOLITION THE CONTRACTOR SHALL VISIT THE SITE AND DETERMINE THE EXISTENCE & LOCATION OF ALL STRUCTURES, UTILITIES & TREES SHOWN OR NOT SHOWN ON THE PLANS, WHICH WOULD NEED TO BE REMOVED OR PRESERVED.
6.

THE CONTRACTOR IS TO COORDINATE THE RELOCATION OR REMOVAL OF ALL OVERHEAD/UNDERGROUND UTILITIES, UTILITY POLES, LIGHTS AND LINES IN THE RIGHT-OF-WAY AND ON THE PROPERTY WITH THE APPROPRIATE PROVIDER.
7.

THE CONTRACTOR SHALL REFERENCE AND RESTORE PROPERTY CORNERS AND LAND MARKERS DISTURBED DURING CONSTRUCTION. (UNDER THE DIRECTION OF A REGISTERED LAND SURVEYOR IN THE STATE OF THE PROJECT SITE)
8.

REMOVE AND DISCARD ALL EXISTING ASPHALT PAVEMENT AND BASE MATERIAL AT LEAST 6" BELOW ASPHALT WITHIN THE LIMITS SHOWN. EXISTING SUBBASE MATERIAL MAY BE REUSED PROVIDED IT IS STABILIZED AND COMPACTED PER THE TYPICAL PAVEMENT DETAIL.
9.

PRIOR TO COMMENCEMENT OF DEMOLITION, CONTRACTOR SHALL OBTAIN ANY DEMOLITION PERMITS REQUIRED.

EROSION CONTROL NOTES

1.

SEDIMENT BARRIERS AND CONSTRUCTION ENTRANCE SHALL BE PLACED AS INDICATED ON THE PLAN PRIOR TO ANY GRADING WORK.
2.

DUST CONTROL ON SITE SHALL BE KEPT WITHIN ACCEPTABLE LIMITS BY SPRINKLING WITH WATER OR OTHER ACCEPTABLE METHODS.
3.

MAXIMUM SLOPES SHALL NOT EXCEED 3:1. CUT AND FILL SLOPES 3:1 SHALL BE STABILIZED BY EROSION CONTROL FABRIC, HYDROSEEDING, SOD, OR OTHER ACCEPTABLE METHODS.
4.

ADDITIONAL EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY BEFORE GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTORS RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
5.

THE LOCATIONS OF EROSION CONTROL DEVICES SHALL BE ADJUSTED AS CONSTRUCTION PROGRESSES TO MAINTAIN A FUNCTIONAL EROSION CONTROL SYSTEM.
6.

ANY FAILURE OF ANY EROSION CONTROL DEVICE TO FUNCTION AS INTENDED FOR ANY REASON SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
7.

EROSION CONTROL DEVICES SHALL BE INSPECTED AFTER EACH RAINFALL EVENT AND AT LEAST DAILY DURING PROLONGED PERIODS OF CONTINUOUS RAINFALL.
8.

EROSION CONTROL DEVICES SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A FUNCTIONAL EROSION CONTROL SYSTEM.
9.

EROSION CONTROL DEVICES SHALL BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED AND THEN REMOVED SO THAT DRAINAGE OF THE SITE IS NOT IMPEDED.
10.

ANY CUT OR FILL SLOPES 3:1 OR GREATER SHALL BE STABILIZED WITHIN 7 DAYS OF COMPLETING WORK ON THE SLOPES.
11.

CLEAN SILT BARRIERS WHEN THEY ARE APPROXIMATELY 50 % OBSTRUCTED BY SEDIMENT OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. SILT BARRIERS SHALL BE REPLACED AS EFFECTIVENESS IS SIGNIFICANTLY REDUCED.
12.

TOPSOIL SHALL BE RE-SPREAD A MINIMUM DEPTH OF 6" OVER ALL DISTURBED AREAS.
13.

AREAS THAT HAVE BEEN STRIPPED, CUT SLOPES, FILL SLOPES OR AREAS OTHER WISE DISTURBED SHALL HAVE PERMANENT STABILIZATION APPLIED (GRASS, SOD, ETC.). PERMANENT STABILIZATION SHALL BE PLACED PRIOR TO ACCEPTANCE OF FINAL GRADING.
14.

REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES PRIOR TO ACCEPTANCE BY THE OWNER.

GENERAL NOTES

1.

THE CONTRACTOR(S) SHALL REMOVE ALL OBSTRUCTIONS, BOTH ABOVE AND BELOW GROUND, AS REQUIRED FOR THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. THIS SHALL INCLUDE CLEARING AND GRUBBING WHICH CONSISTS OF CLEARING THE GROUND SURFACE OF ALL TREES, STUMPS, BRUSH, UNDERGROWTH, HEDGES, HEAVY GROWTH OF GRASS OR WEEDS, FENCES, STRUCTURES, DEBRIS, RUBBISH, AND SUCH MATERIAL WHICH, IN THE OPINION OF THE ENGINEER, IS UNSUITABLE FOR THE FOUNDATION OF PAVEMENTS.
2.

THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL THE DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
3.

ALL CONTRACTORS WORKING WITHIN THE PROJECT'S BOUNDARIES ARE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY LAWS OF ALL JURISDICTIONAL BODIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES AND CONTROL OF TRAFFIC WITHIN AND AROUND THE CONSTRUCTION AREA.
4.

EXISTING A. C. PAVEMENT SHALL BE CUT TO A NEAT STRAIGHT LINE PARALLEL OR PERPENDICULAR TO THE STREET CENTERLINE AND THE EXPOSED EDGE SHALL BE CUT TO A NEAT STRAIGHT LINE PARALLEL OR PERPENDICULAR TO THE STREET CENTERLINE AND THE EDGE COATED WITH TAR AS REQUIRED BY THE CITY STREETS DEPARTMENT.
5.

ALL MATERIALS FURNISHED ON OR FOR THE PROJECT MUST MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, WHICHEVER IS MORE RESTRICTIVE.
6.

CONTRACTORS MUST FURNISH PROOF THAT ALL MATERIALS INSTALLED ON THIS PROJECT MEET THE REQUIREMENTS OF ITEM #5 AT THE REQUEST OF THE AGENCY AND/OR THE ENGINEER.
7.

ALL COSTS OF RETESTING FOR PREVIOUSLY FAILED TESTS SHALL BE BACK CHARGED TO THE CONTRACTOR BY THE OWNER.
8.

ALL COSTS TO THE CONTRACTOR INCURRED IN CORRECTING DEFICIENT WORK SHALL BE TO THE CONTRACTORS ACCOUNT. FAILURE TO CORRECT SUCH WORK WILL BE CAUSE FOR A STOP WORK ORDER AND POSSIBLE TERMINATION.
9.

THE GENERAL CONTRACTOR IS PARTICULARLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES SHOWN HEREON IS BASED ON UTILITY COMPANY RECORDS, AND WHERE POSSIBLE, FIELD MEASUREMENTS. THE CONTRACTOR SHALL NOT RELY UPON THIS INFORMATION AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OF UTILITY LOCATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE EXISTING UTILITIES CONFLICTING WITH IMPROVEMENTS SHOWN HEREON IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH PREPARATIONS
10.

ALL MATERIAL PLACED AS FILL OR BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE PER THE STANDARD PROCTOR METHOD (ASTM D 698) - SEE GEOTECHNICAL REPORT
11.

IN THE CASE OF CONFLICT BETWEEN THIS DRAWING AND ANY OTHER DRAWING AND/OR THE SPECIFICATIONS, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR CLARIFICATION.
12.

ALL LOT DIMENSIONS, EASEMENTS AND CERTAIN OFF-SITE EASEMENTS ARE TO BE TAKEN FROM THE FINAL PLAT PREPARED BY THE SURVEYOR.
13.

OVER EXCAVATION AND ADDITIONAL GRANULAR BACKFILL MAY BE REQUIRED IN HIGH GROUNDWATER AREAS WHICH ARE TO BE DETERMINED BY THE FIELD INSPECTOR OR OWNER.

EXHIBIT D

EXHIBIT D of the CFT NV DEVELOPMENTS, LLC REAL PROPERTY PURCHASE AND SALE AGREEMENT AND JOINT ESCROW INSTRUCTIONS

Seller shall, at Seller's expense, cause to be constructed and completed at the time and in the manner set forth in this **Exhibit D**, the site preparation and improvements described below, all of which are referred to as "**Seller's Work**".

1.

Demolition and Removal of Improvements; Grading and Compaction. Prior to the date Buyer obtains the Permits and in no event later than the 30th day preceding the earliest day on which Buyer will have the right to close Escrow, Seller shall have removed all improvements on or below the surface of the Property , including but not limited to existing buildings, foundations, trash enclosures, parking lot light poles/bases, underground storage tanks and parking surfaces where indicated on Buyer's plans. Existing utility lines shall be removed or capped and abandoned in place as called for on Buyer's plans, and Seller shall be able to deliver the Property to Buyer vacant of all tenants or other occupants and graded to within one tenth (1/10) of one foot (1") of the finished grade elevation as established by Buyer, with the soil tests conducted by Buyer showing the soil on the Property to be ninety-five percent (95%) compacted with a tolerance of 0.3 %+/- up to the proposed building envelope. Seller shall immediately notify Buyer when the within conditions have been met, and shall provide Buyer with any soil compaction reports, and with a current pad certification from a certified soils engineer relating to the Property. Within the same time frame, Seller shall have closed any and all existing utility accounts and requested and obtained the removal of applicable utility lines and meters.
- Any fill material must be of structural quality with no debris or organic materials and must be placed in eight inch (8") lifts. The moisture content of the soil shall be within the range of 0-4 % above the maximum moisture content in accordance with the Standard Proctor compaction procedure. A copy of soils/geotechnical testing reports and final compaction reports from the Seller's geotechnical testing firm shall be furnished to Buyer prior to pad delivery by Seller and subsequent acceptance by Buyer.

A letter and building pad certification plan from a state licensed Civil Engineer (attesting to his inspection and certification of the completed building pad) shall be provided by the Seller to the Buyer prior to pad delivery by Seller and subsequent acceptance by Buyer. The Seller-furnished certification letter shall include all as-built utility locations, finished grades and pipe invert elevations.

As set forth herein, all demolition and removal of existing improvements is Seller's Work and it is Seller's responsibility to perform the work, timely pay for the work to keep the Property lien-free, and to properly and lawfully dispose of all materials removed from the Property. Notwithstanding the foregoing, should Buyer have to, or agree in writing to, perform any of such removal and disposal work, all risks, liabilities and costs associated with the removal of any hazardous materials shall be borne entirely by Seller and all materials removed shall be marked and labeled with manifests indicating Seller ownership and responsibility for the same. Seller shall indemnify and hold harmless Buyer and Buyer's contractors and agents for all costs, risks and liabilities arising from said removals and demolitions.

2.

Utility Installation. Prior to the date Buyer obtains the Permits, Utilities shall be installed by Seller. Such Utilities shall be installed to within 5 feetof the Building slab on the Property to the point chosen by Buyer, as designated by Buyer for the Buyer Improvements per the plans to be submitted to Seller. Seller shall also provide Buyer with assurance satisfactory to Buyer that Utilities adequate to serve the Buyer Improvements are available and include legal access across other properties if necessary to serve the Property. "**Utilities**" include without limitation water, gas, electricity, telephone, sanitary sewers and storm drainage. Any City/Utility company evidence of water and/or wastewater capacity shall be furnished to Buyer by Seller prior to Closing.

• Domestic and Irrigation Water Connections to City Main

Seller shall furnish and install one pipe of two inch (2") minimum diameter (or one pipe of one and a half inch (1 ½") minimum diameter for domestic water and one pipe of one inch (1") minimum diameter for irrigation water), with backflow assembly, meter stop and shutoff valve as required by the local water/utility company. Water pressure rate shall be between 45 to 60 pounds per square inch. Any expense for necessary backflow preventer certification required by the City or local utility company shall be borne by the Seller, with evidence of certification provided to the Buyer.

• Sanitary Sewer Connection to City Main

Seller shall furnish and install one ea. pipe of four inch (4") minimum diameter for sanitary sewer having sufficient invert elevation depth to facilitate a minimum one-quarter inch (¼") per foot slope from the furthest plumbing fixture or grease trap location. Under no circumstance the invert elevation shall be less than 36" below building slab sub-grade.

• Electrical Service

Seller shall furnish and install a minimum of two ea. (2) conduits of four inch (4") electrical service conduits (or greater amount or diameter if required by the local utility company) to provide for a Buyer electrical load requirement of 600 amps, 3 phase, 4 wire, and 120/208 volts.

• Gas Service

Seller shall furnish and install gas pipe of a diameter sufficient to provide Buyer with a total demand of 2.1 million BTUs (for natural gas of 0.60 specific gravity, based on pressure drop of 0.5 inch water column).

• Fire Sprinkler System

If required, Seller shall furnish and install a dedicated fire protection water main system having a main of sufficient diameter, detector check valve, PIV and FDC as mandated by local authorities and Fire Marshal's office. Any expense for necessary "fire flow rate" testing of nearby fire hydrants required by the local authorities or Fire Marshal's office shall be borne by Seller, with evidence of testing provided to Buyer. Any expense for additional fire hydrants required by local authorities or Fire Marshal's office shall be borne by Seller.

• Telephone

Seller shall furnish and install at a minimum one ea. (1) telephone conduit of four inch (4") diameter and pull string as required by the phone company.

3.

Common Area Improvements. Before the Closing Date, Seller shall complete all Common Area Improvements in accordance with the Shopping Center site plan, and applicable conditions to governmental approval of the Shopping Center site plan. "Common Area Improvements" include without limitation all curbs, gutters, paving, striping, landscaping and irrigation systems, retaining walls, driveways, walkways, driveway aprons, asphalt area as required by applicable code, and traffic intersection signalization/deceleration lanes required to enter the property.
4.

Insurance. Seller shall obtain, or shall require that all contractors performing Seller's Work obtain public liability and property damage insurance with limits of liability of not less than a combined single limit of Two Million Dollars (\$2,000,000.00) for bodily injury and property damage.
5.

Coordination of Work. Seller shall cooperate with Buyer in coordinating Seller's Work with construction of the Buyer Improvements to assure mutual access and to prevent interference with or damage to the work Seller and Buyer are performing.
6.

Construction Staging. Buyer shall have the right during the construction of the Buyer Improvements to use a minimum of 6,000 square feet on land adjacent to the Property (or within agreed amount of feet of the Property per the CFT NV DEVELOPMENTS, LLC REAL PROPERTY PURCHASE AND SALE AGREEMENT AND JOINT ESCROW INSTRUCTIONS for construction staging purposes, including but not limited to the parking of construction vehicles, the temporary storage of building materials, etc. Such land shall be depicted in an exhibit to be attached to the Purchase and Sale Agreement, and the use by Buyer shall be at no cost to Buyer, except that Buyer shall properly insure against any damage to the land and shall repair any damages to the extent they might be caused by Buyer.
7.

Seller's Failure to Perform. If Seller fails to timely perform any of Seller's Work, Buyer shall have the right, in addition to all other remedies, upon ten (10) days' notice to Seller, to cause performance of the work described in the notice. Seller shall reimburse Buyer for all amounts expended by Buyer in performing same, upon receipt of verification from Buyer of the amount so expended, plus interest at the maximum lawful rate. Buyer may elect to receive reimbursement by a credit towards the Purchase Price.

All contractors and the subcontractors shall confirm the above Exhibit "D", of the CFT NV DEVELOPMENTS, LLC REAL PROPERTY PURCHASE AND SALE AGREEMENT AND JOINT ESCROW INSTRUCTIONS, is the most current version prior to any work done.



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

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REVISIONS:

ISSUE DATE:

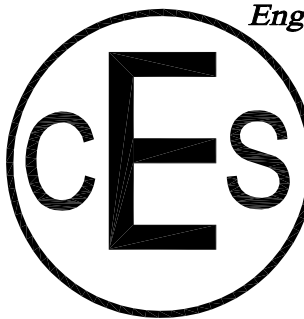
1	PERMIT/BID	09-13-2022
1	CONSTRUCTION	01-30-2023

PANDA PROJECT #:

D23503

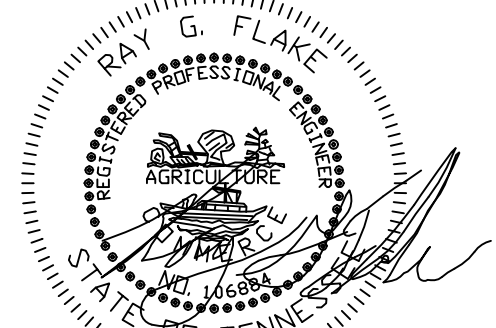
Civil Engineering Services

Engineering, Land Planning,
and Environmental



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net



PANDA EXPRESS

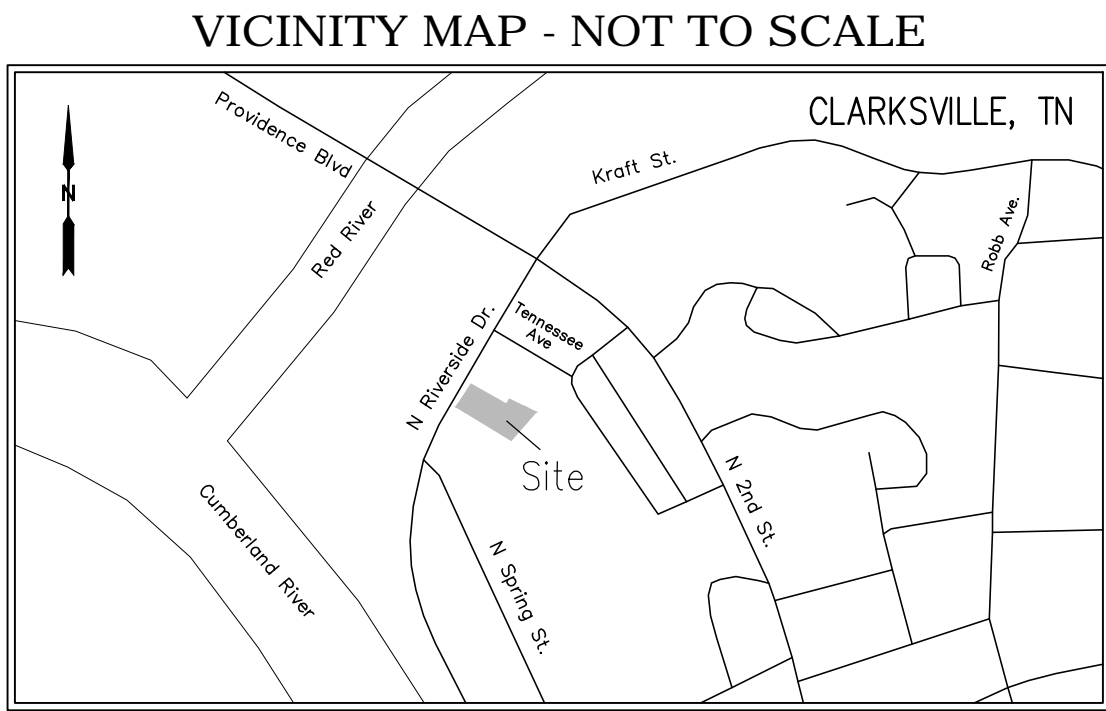
955 N. RIVERSIDE DRIVE
CLARKSVILLE, TN. 37040

TRUE WARM & WELCOME 2600-2022

GENERAL NOTES

C01.1

PANDA HOME 2600 R4



LINE TABLE

LINE	BEARING	DISTANCE
L1	S 58°57'58" E	9.99'
L2	N 82°09'20" E	6.22'

RECORDED

LINE	BEARING	DISTANCE
L1	S 58°46'37" E	9.97'
L2	N 82°08'43" E	6.22'

Preliminary

LEGEND OF SYMBOLS & ABBREVIATIONS

- | | |
|--------------------------|----------------------------------|
| ● Set Boundary Monument | — Subject Boundary |
| ○ Existing Monument | - - - Adjoining Boundary |
| ⊙ Sanitary Sewer Manhole | — W — W — Water Line |
| ⊙ Cleanout | — OH — OH — Overhead Utilities |
| ⊙ Storm Drain | — G — G — Gas Line |
| ⊙ Gas Meter | — SA — SA — Sanitary Sewer |
| ⊙ Gas Valve | — S — S — Storm Sewer |
| ⊙ Water Meter | — F — F — Fence Line (Chainlink) |
| ⊙ Fire Hydrant | |
| ⊙ Water Valve | |
| ⊙ CATV Vault | |
| ⊙ Google Fiber Vault | |
| ⊙ Utility Pole | |
| ⊙ Light Pole | |
| ⊙ Electric Manhole | |
| ⊙ Electric Meter | |
| ⊙ Handicapped Space | |
| IR(0) Iron Rod (Old) | |
| BM Benchmark | |
| POB Point of Beginning | |

US 41 ALT BYPASS
N RIVERSIDE DRIVE
R.O.W. VARIES ~ 66' P.V.M.T

Storm Curb Inlet
RIM: 387.89
INV: 384.58

Storm Curb Inlet
RIM: 388.05
INV: 383.75

Storm Curb Inlet
RIM: 389.19
INV: 384.39

Storm Curb Inlet
RIM: 390.69
INV: 384.89

Storm Curb Inlet
RIM: 391.53
INV(NW): 385.98
INV(4" PVC): 387.23

Storm Curb Inlet
RIM: 391.22
INV: 386.48

Storm Curb Inlet
RIM: 394.31
INV: 383.29

16" CMP
RIM: 390.01

16" CMP
RIM: 389.5

DONALD W. HENDERSON
DEED BK. V688, PG. 1103

S 58°26'19" E 184.44' S 58°29'32" E 184.43' (R)

5' P.U.D.E.
(PLAT L, PG. 144)

LOT 2
NEWELL-BERG HOLDINGS TN, LLC,
D.B. 2072, PG. 2196
85505.6 sq.ft.
1.96 acres

HUMANE SOCIETY OF CLARKVILLE-MONTGOMERY COUNTY
DEED BK V1307, BK. 1909

S 57°07'21" E 151.74'

5' P.U.D.E.
(PLAT L, PG. 144)

TENNESSEE AVE.
40' PUBLIC RW ~ 19' P.V.M.T

S 58°34'40" E 318.47'

Proposed North Property Line

24" RCP

24" RCP

10' P.U.D.E.
(PLAT L, PG. 144)

10' P.U.D.E.
(PLAT L, PG. 144)

10' P.U.D.E.
(PLAT L, PG. 144)

10' P.U.D.E.
(PLAT L, PG. 144)

10' P.U.D.E.
(PLAT L, PG. 144)

10' P.U.D.E.
(PLAT L, PG. 144)

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(PLAT L, PG. 144)

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(PLAT L, PG. 144)

10' P.U.D.E.
(PLAT L, PG. 144)

10' P.U.D.E.
(PLAT L, PG. 144)

10' P.U.D.E.
(PLAT L, PG. 144)

10' P.U.D.E.
(PLAT L, PG. 144)

10' P.U.D.E.
(PLAT L, PG. 144)

10' P.U.D.E.
(PLAT L, PG. 144)

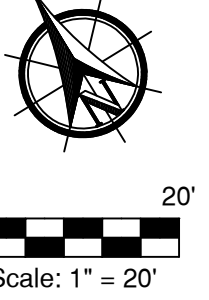
ALTANSPS LAND TITLE SURVEY

Panda Express

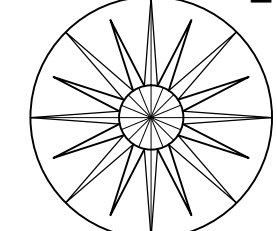
AS RECORDED IN PLAT L, PAGE 144

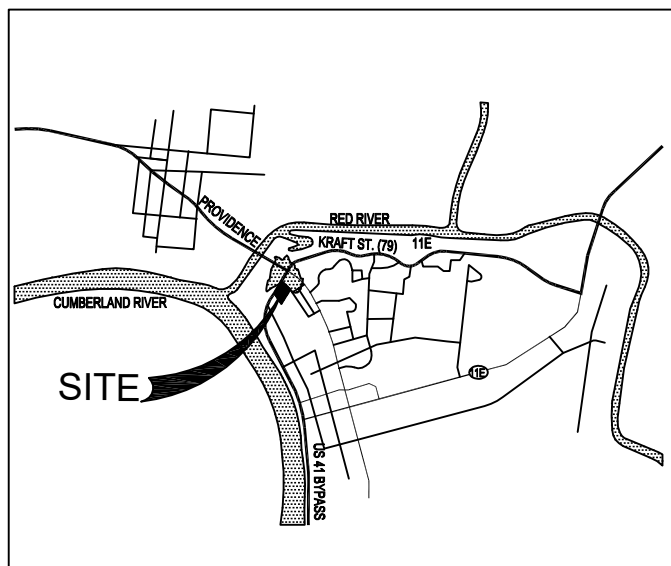
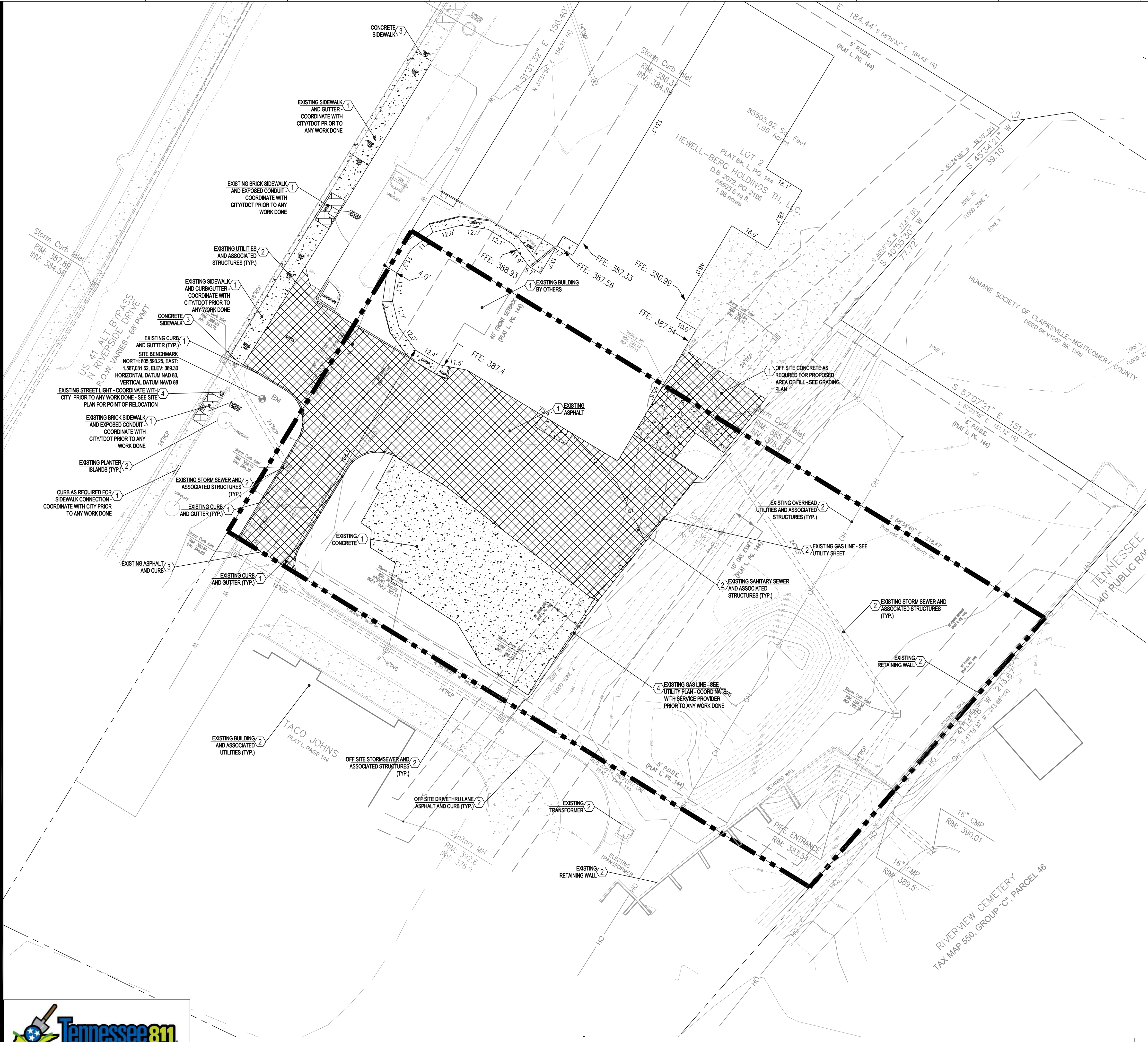
CLARKSVILLE, MONTGOMERY COUNTY, TENNESSEE

Sheet 2 of 2
INITIAL SURVEY:
07-27-22
LAST UPDATE:
09-08-22



CROWE - WHEELER and ASSOCIATES
PROFESSIONAL LAND SURVEYING AND MAPPING SERVICES
2865 HALFWAY-HALIFAX RD, SCOTTSVILLE, KY 42164
Office: 270.393.8500 Fax: 270.393.8540
DRAWN BY: RUL





LOCATION MAP
NOT TO SCALE

DEMO NOTES

SEE DEMOLITION NOTE ON SHEET C01.1

DEMO LEGEND

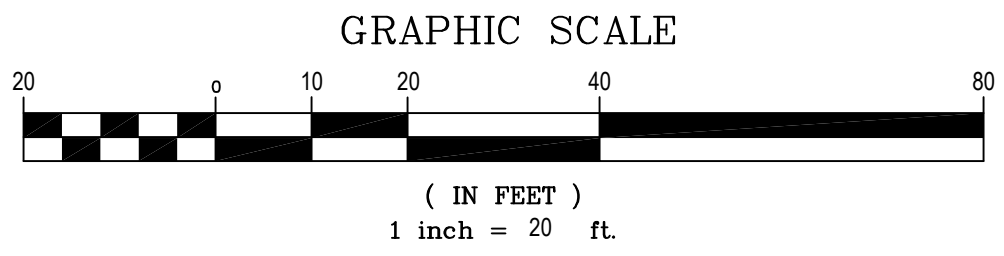
- APPROXIMATE LIMITS OF ASPHALT/ CONCRETE SAWCUT
- EXISTING ASPHALT TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED

DEMOLITION KEYNOTES

- 1 REMOVE EXISTING SITE FEATURE
- 2 PROTECT EXISTING SITE FEATURE
- 3 SAWCUT ASPHALT/CONCRETE
- 4 RELOCATE EXISTING SITE FEATURE

TOTAL SITE AREA = 46,099 SQ.FT.
EXISTING IMPERVIOUS AREA = 23,069 SQ.FT.

SEE CFT IV DEVELOPMENTS, LLC REAL PROPERTY PURCHASE AND SALE AGREEMENT AND JOINT ESCROW INSTRUCTIONS, EXHIBIT "D" TO REAL PROPERTY PURCHASE AGREEMENT FOR SELLERS WORK SCOPE ON SHEET C01.1



BM #1
TYPE: PK NAIL SET IN CURB
ELEVATION: -387.64
NORTHING - 805,593.25
EASTING - 1,567,031.62

FLOOD STATEMENT:
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE(S) X, FLOOD ZONE X AND ZONE AE OF THE FLOOD INSURANCE RATE MAP NUMBER 4712C0238E WHICH BEARS AN EFFECTIVE DATE OF 01/15/2021 AND IS IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
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91770
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Facsimile: 626.372.8288

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REVISIONS:

ISSUE DATE:

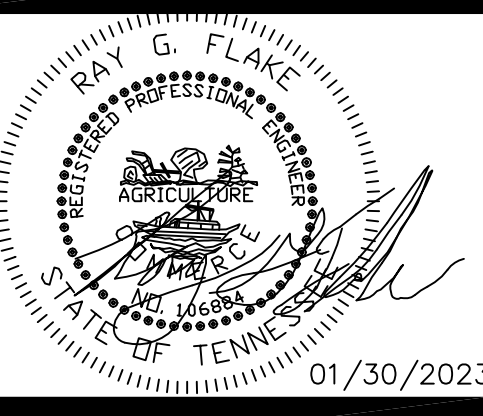
1	PERMIT/BID	09-13-2022
1	CONSTRUCTION	01-30-2023

PANDA PROJECT #: D23503

Civil Engineering Services
Engineering, Land Planning,
and Environmental

7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net



PANDA EXPRESS

955 N. RIVERSIDE DRIVE
CLARKSVILLE, TN. 37040

TRUE WARM & WELCOME 2600-2022

DEMOLITION PLAN

C02.1

PANDA HOME 2600 R4

SITE DATA TABLE

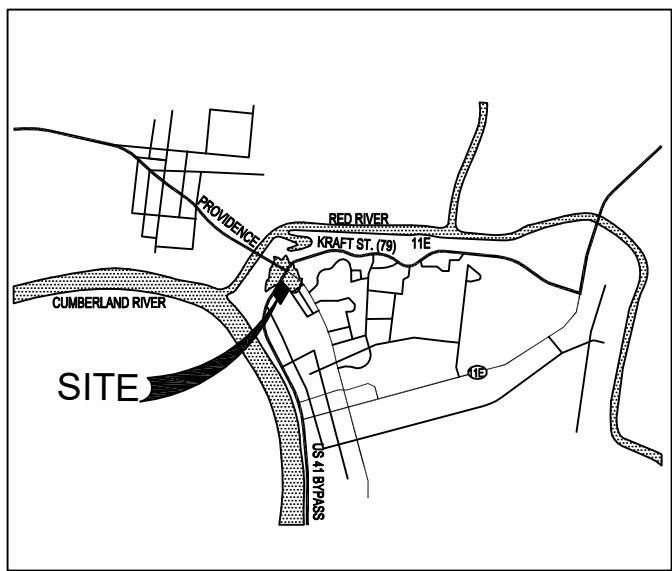
- ZONING:
C2 GENERAL COMMERCIAL DISTRICT
- REQUIRED BUILDING SETBACKS:
FRONT (W) = 20'
REAR (E) = 25'
SIDE (N) = N/A
SIDE (S) = N/A
- SITE ACREAGE:
46,099 SF / 1.06 AC
- FLOOR AREA RATIO:
PANDA EXPRESS = 2,698 SF BLDG / SITE AREA
46,099 = 5.85%
- LIMITS OF DISTURBANCE = 51,861 SF / 1.19 AC
- PROPOSED SITE IMPERVIOUS SURFACE RATIO
TOTAL SITE = 46,099 SF
PAVEMENT/SIDEWALKS = 29,591 SF
BUILDING = 2,698 SF
TOTAL IMPERVIOUS = 32,289 SF
TOTAL PERVIOUS = 13,810 SF
PERCENT IMPERVIOUS = 70.04%
- PARKING
RESTAURANT: 10/1000 SF
PANDA EXPRESS - 2,661 SF = 27 SPACES
TOTAL NON-ADA PARKING: 34
TOTAL ADA PARKING: 2
TOTAL PARKING PROVIDED: 34
- REQUIRED PARKING SETBACKS:
FRONT (W) = 0'
REAR (E) = 0'
SIDE (N) = 0'
SIDE (S) = 0'
- FLOOD HAZARD:
F.I.R.M. MAP NO. #47125C0238E

SEE CFT NV DEVELOPMENTS, LLC REAL PROPERTY PURCHASE AND SALE AGREEMENT AND JOINT ESCROW INSTRUCTIONS, EXHIBIT "D" TO REAL PROPERTY PURCHASE AGREEMENT FOR SELLERS WORK SCOPE ON SHEET C01.1

TDOT NOTES:
1. ALL DRIVEWAYS MEET AASHTO INTERSECTION SITE DISTANCE.
2. ALL PAVEMENT MARKINGS ON TDOT RIGHT OF WAY SHALL BE THERMOPLASTIC PER TDOT SPECS.

PROPOSED SITE LEGEND

- ⑧ PARKING STALL COUNT - SEE PLANS
- LIGHT DUTY CONCRETE PAVING - SEE DETAIL SHEET SECTION (C03.1)
- HEAVY DUTY CONCRETE PAVING - SEE DETAIL SHEET SECTION (C03.1)
- CONCRETE SIDEWALK - SEE DETAIL SHEET (C03.1)
- CONCRETE PAVING AT DUMPSTER ENCLOSURE, DRIVE THRU, AND PARKING ALONG BUILDING PER GEOTECHNICAL REPORT
- HANDICAP PARKING
- DIRECTIONAL ARROWS
- PROPOSED CURBS AND GUTTER AT CONCRETE - MONOLITHIC AT CONCRETE PAVEMENT - SEE DETAIL SHEET (C03.1)
- LIGHT POLE - SEE PHOTO METRIC PLAN - SEE LIGHT POLE BASE ON DETAIL SHEET (C03.1)



LOCATION MAP
NOT TO SCALE

GENERAL NOTES

SEE NOTES ON SHEET C01.1

SITE KEY NOTES:

PAVEMENT AND CURBING

- ① PROVIDE CURB AND GUTTER AT ASPHALT - MONOLITHIC CURB AT CONCRETE PAVEMENT - SEE DETAIL SHEET (C03.1)
- ② PROVIDE CONCRETE SIDEWALKS PER DETAIL SHEET (C03.2) - PROVIDE CONCRETE SIDEWALK WITH INTEGRAL CURB AT BUILDING AND PARKING PER DETAIL SHEET (C03.2)
- ③ HEAVY DUTY CONCRETE PAVING AT DRIVE THRU ISLE - SEE DETAIL SHEET (C03.1) & GEO-TECH REPORT (GRAY COLOR, LIGHT BROOM FINISH)
- ④ NEW HEAVY DUTY CONCRETE APRON AT DUMPSTER ENCLOSURE - SEE ARCHITECTURAL DETAIL SHEET - SEE DETAIL SHEET (C03.1)
- ⑤ BOLLARD PLAN - SEE DETAIL (C03.2)
- ⑥ SEALED CONC. SIDEWALK (AQUA MIX SEALER'S CHOICE GOLD), CONCRETE TO BE LIGHT BROOM TEXTURE FINISH. PROVIDE UNDER SLAB TREATMENT PER SOIL REPORT. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND ALL SIDE WALKS.
- ⑦ EXPANSION JOINT - SEE SOILS REPORT FOR SPACING - SEE DETAIL SHEET (C03.1)
- ⑧ CONTROL JOINTS - SEE SOILS REPORT FOR SPACING - SEE DETAIL SHEET (C03.1)
- ⑨ PROVIDE HEAVY DUTY ASPHALT PAVING - SEE DETAIL SHEET (C03.1)
- ⑩ PROVIDE LIGHT DUTY PAVING AT PARKING STALLS - SEE DETAIL SHEET (C03.1)
- ⑪ PROVIDE LIGHT CONCRETE PAVING AT PARKING STALLS ALONG BUILDING - SEE DETAIL SHEET (C03.1)
- ⑫ PERVIOUS PAVERS - SEE DETAIL SHEET (C03.2)

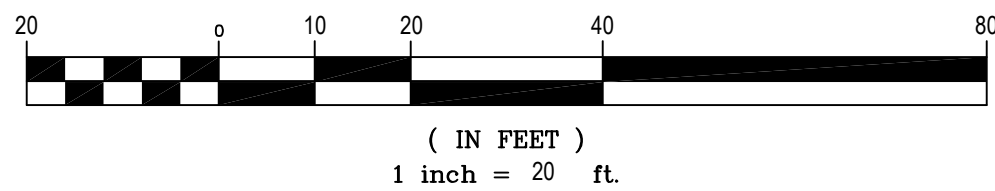
PAVEMENT STRIPING / ADA FEATURES / TRAFFIC SIGNAGE

- ⑮ ADA ACCESSIBLE RAMP AT HANDICAP PARKING STALLS - SEE GRADING PLAN FOR ELEVATIONS - SEE HANDICAP PARKING ON DETAIL SHEET (C03.1)
- ⑯ ADA DETECTABLE WARNING AT EDGE OF PAVEMENT - SEE HANDICAP PARKING DETAIL ON DETAIL SHEET (C03.1)
- ⑰ HANDICAP AND VAN ACCESSIBLE PARKING LAYOUT, SIGNAGE, AND STRIPING - SEE DETAIL SHEET (C03.1)
- ⑱ ALL SITE DIRECTIONAL SIGNAGE, PAVEMENT STRIPING AND MARKINGS SHALL BE COORDINATED WITH PRG'S PROJECT MANAGER.
- ⑲ 4" WIDE DIAGONAL STRIPES PAINTED WHITE AT 2 FT. O.C. PER CITY SPECS.
- ⑳ 4" WIDE PARKING STRIPE PAINTED WHITE PER CITY SPECS.
- ㉑ TRAFFIC ARROW PAINTED WHITE - SEE DETAIL SHEET (C03.1)
- ㉒ STOP BAR PAINTED WHITE PER MUTCD SPECS.
- ㉓ *STOP* SIGN PER MUTCD/LOCAL MUNICIPALITY SPECIFICATIONS

PANDA EXPRESS SITE FEATURES

- ③0 DRIVE THRU LANE SENSOR LOOP SEE DETAIL - SEE ARCH DETAIL SHEET
 - ③1 NEW PAINTED SWITCHGEAR LOCATION - SEE ELECTRICAL PLANS
 - ③2 ORDER CONFIRMATION BOARD - SEE ARCH DETAIL SHEET
 - ③3 DRIVE THROUGH MENU BOARD-INSTALLED BY GC. VERIFY WITH PANDA P.M. - SEE ARCH DETAIL SHEET
 - ③4 CLEARANCE BAR INSTALLED BY SIGN VENDOR - RE: ELECTRICAL DRAWING FOR REQUIREMENTS, G.C. TO COORDINATE LOCATION WITH PRG P.M.
 - ③5 WHEEL STOP - GNR TECHNOLOGIES "PARK-IT" 6" PARKING CURB #16201R (BLACK AND YELLOW OR OWNER APPROVED EQUIV.)
 - ③6 TRASH ENCLOSURE, CONFORM BIN SIZE WITH LOCAL WASTE MANAGEMENT COMPANY. (TYP. 6 YARD BIN) - SEE ARCH DETAIL SHEET
 - ③7 PROVIDE NEW PANDA EXPRESS SIGN ON EXISTING SIGN POLE (SEE SIGN DESIGN BY OTHERS) LIGHT POLE - SEE PHOTO METRIC PLAN - SEE LIGHT POLE BASE ON DETAIL SHEET (C03.1)
 - ③8 TIE TO ROOF DRAIN COLLECTOR FROM BUILDING - SEE PLUMBING PLANS FOR UNDERGROUND CONNECTION AT BUILDING - SEE ELEVATION THIS SHEET - OVERFLOW PIPE FROM ROOF DRAIN TO DAYLIGHT UNDER CONCRETE FLATWORK AT FACE OF CURB - SEE PLUMBING PLANS FOR LOCATION
 - ④0 APPROXIMATE LOCATION OF PAD MOUNTED TRANSFORMER PAD PER SERVICE PROVIDER SPECS. - COORDINATE WITH SERVICE PROVIDER PRIOR TO CONSTRUCTION
 - ④1 EDGE OF CONCRETE SIDEWALK AT PLANTER BED - SEE LANDSCAPE PLAN (L01.0)
 - ④2 "THANK YOU / DO NOT ENTER" SIGN
 - ④3 ONLINE ORDER SIGN - SEE ARCH DETAIL SHEET
 - ④4 CURB SIDE PICK-UP / POST & PANEL SIGN - SEE ARCH DETAIL SHEET
- ADDITIONAL SITE FEATURES
- ⑤0 MATCH EXISTING GRADE
 - ⑤1 EXISTING FIRE HYDRANT
 - ⑤2 HEAVY DUTY CONCRETE DRIVE ENTRANCE PER CITY SPECS - SEE TDOT DETAIL RP-D-16
 - ⑤3 PROVIDE SIDEWALK WITH CURB AND GUTTER PER TDOT DETAIL MM-SW1
 - ⑤4 TAPER CURB FROM 0" TO 6" OVER 2 FEET
 - ⑤5 DO NOT BLOCK STRIPING, OPTION "C", PER MUTCD SPECS.
 - ⑤6 "DO NOT BLOCK INTERSECTION" SIGN PER MUTCD SPECS.
 - ⑤7 THERMAL PLASTIC SOLID YELLOW LANE STRIPE PER TDOT SPECS.
 - ⑤8 ADA RAMP PER CITY SPECS
 - ⑤9 APPROXIMATE LOCATION FOR RELOCATED STREET LIGHT - COORDINATE WITH CITY PRIOR TO ANY WORK DONE
 - ⑥0 DOUBLE SOLID THERMAL PLASTIC YELLOW LANE STRIPE PER TDOT SPECS.
 - ⑥1 THERMAL PLASTIC WHITE STOP BAR PER TDOT SPECS.
 - ⑥2 THERMAL PLASTIC WHITE TRAFFIC ARROW PER TDOT SPECS

GRAPHIC SCALE



BM #1
TYPE: PK NAIL SET IN CURB
ELEVATION: -387.64
NORTHING: -805,593.25
EASTING: -1,567,031.62

FLOOD STATEMENT:
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE(S) X, FLOOD ZONE X AND ZONE AE OF THE FLOOD INSURANCE RATE MAP NUMBER 47125C0238E WHICH BEARS AN EFFECTIVE DATE OF 01/15/2021 AND IS IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

BASE OF BEARINGS:
ALL BEARINGS ARE BASED ON NAD83,
TENNESSEE STATE PLANE.



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91770

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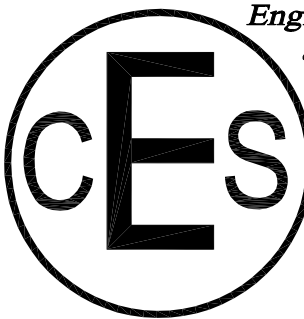
REVISIONS:

ISSUE DATE:

1	PERMIT/BID	09-13-2022
1	CONSTRUCTION	01-30-2023

PANDA PROJECT #: D23503

Civil Engineering Services
Engineering, Land Planning,
and Environmental



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Fairview, Tennessee
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PANDA EXPRESS

955 N. RIVERSIDE DRIVE
CLARKSVILLE, TN. 37040

TRUE WARM & WELCOME 2600-2022

SITE PLAN

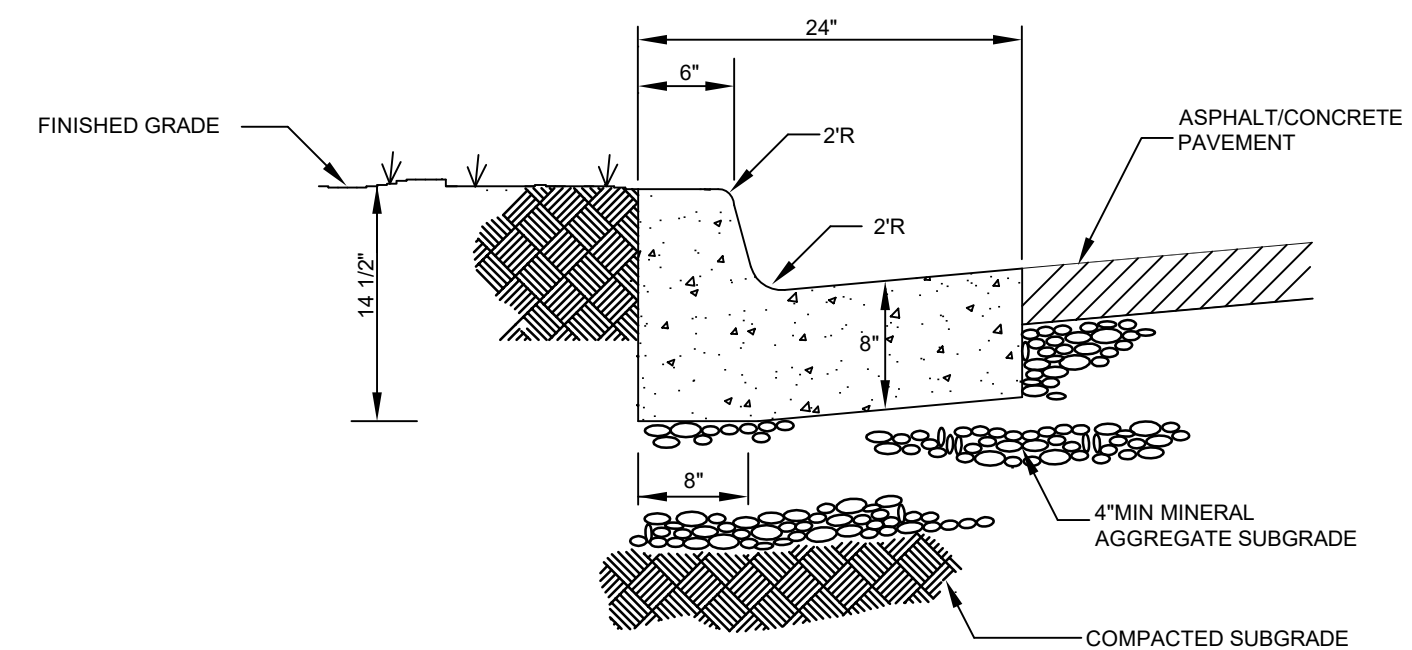
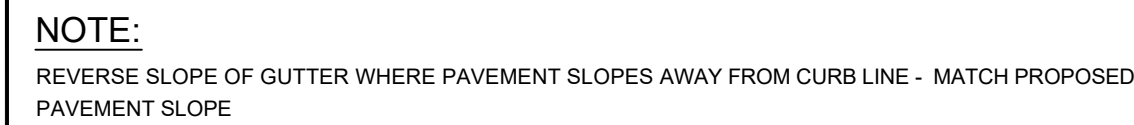
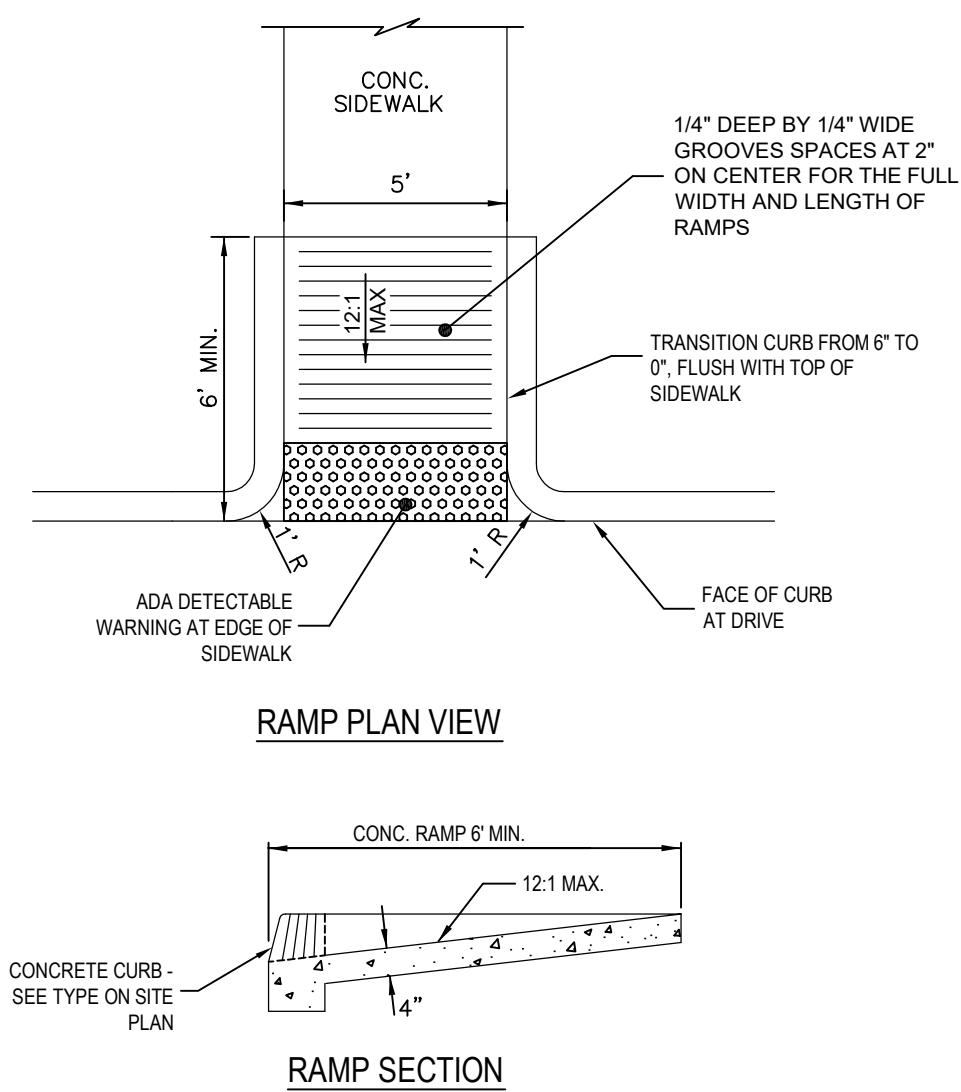
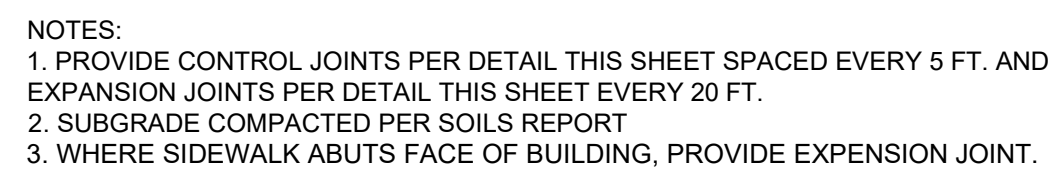
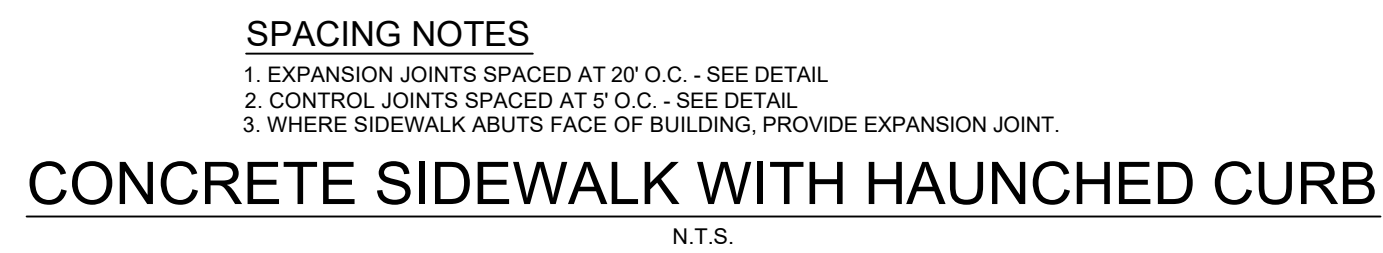
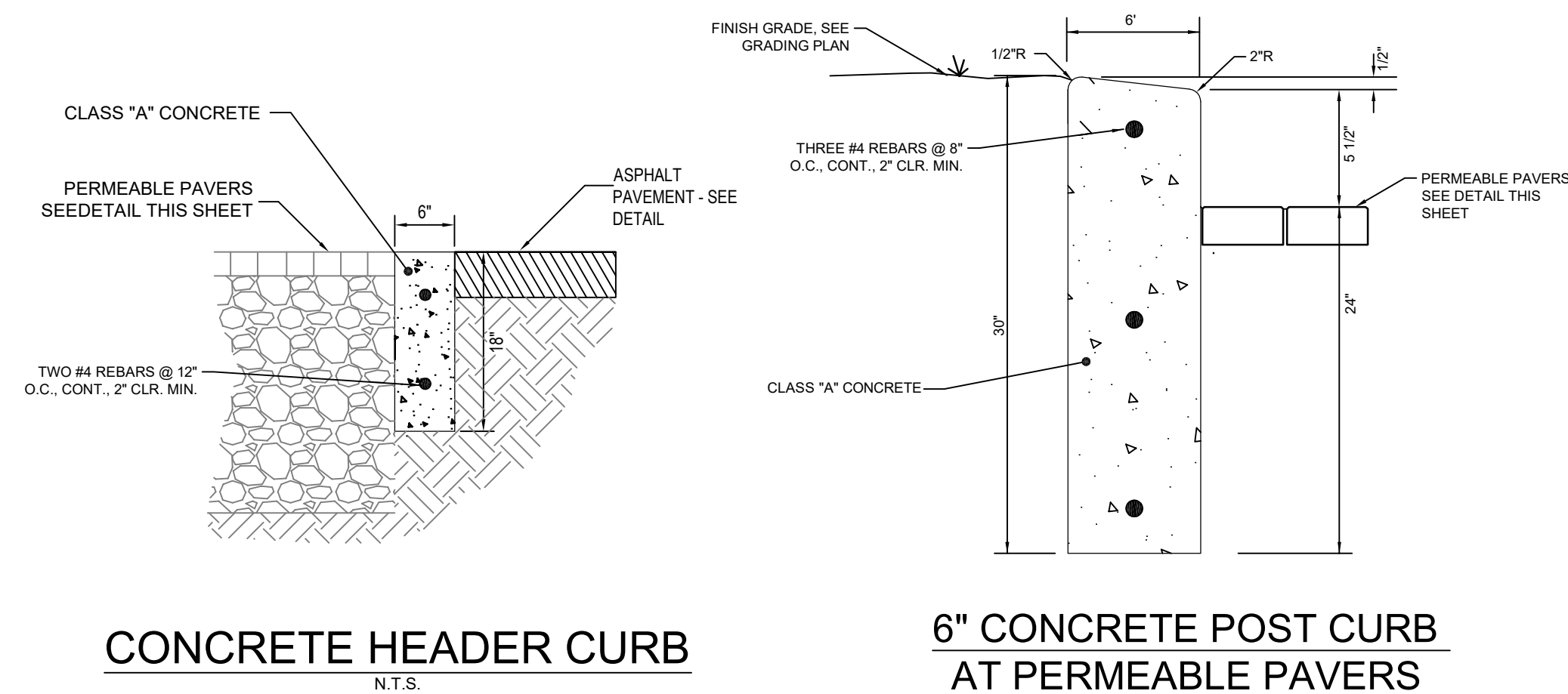
C03.0

PANDA HOME 2600 R4



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HARDSCAPE DETAILS II

C03.2

PANDA HOME 2600 R4

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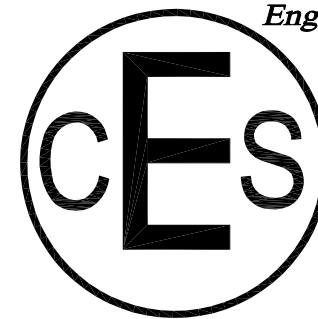
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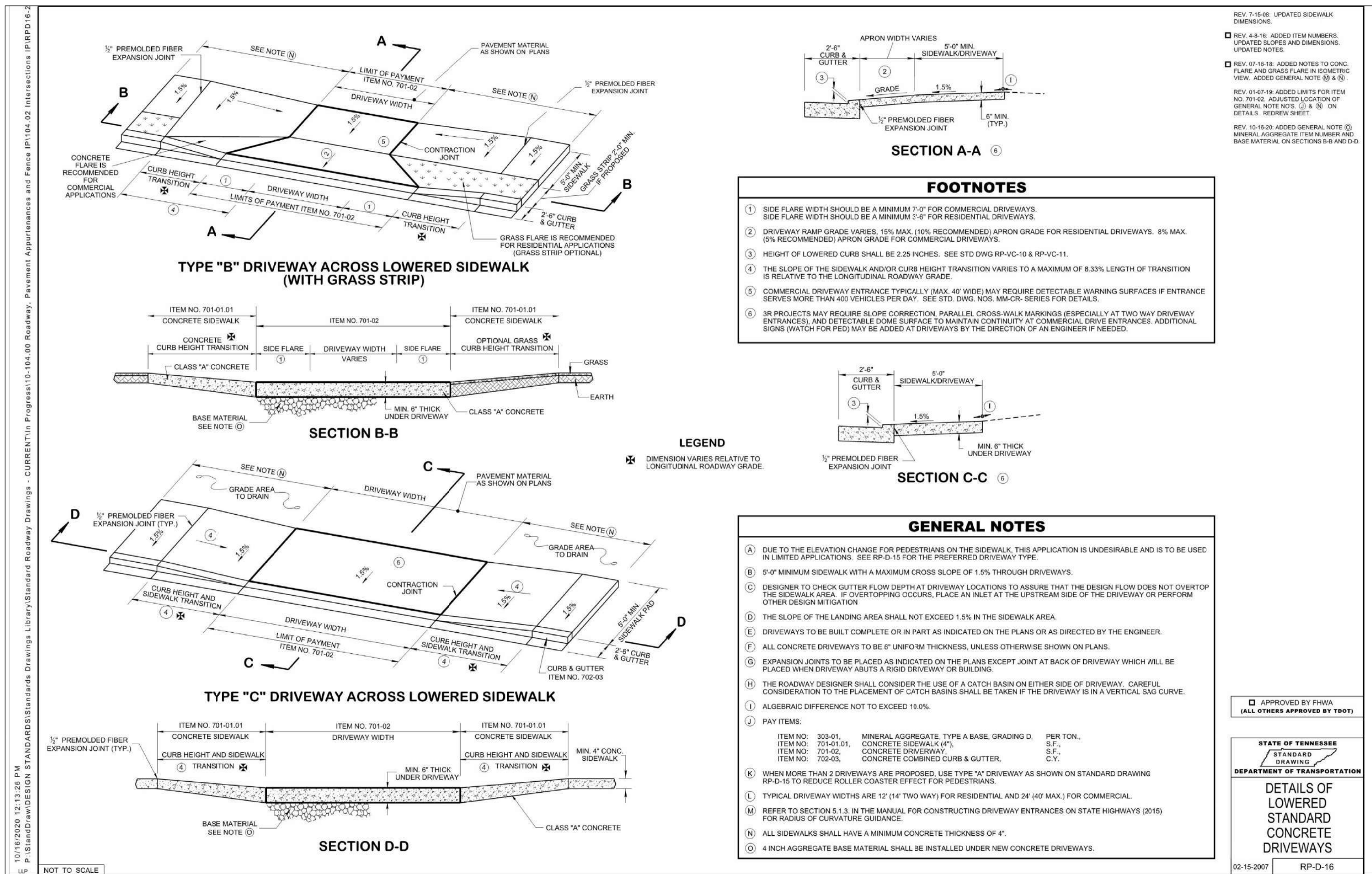
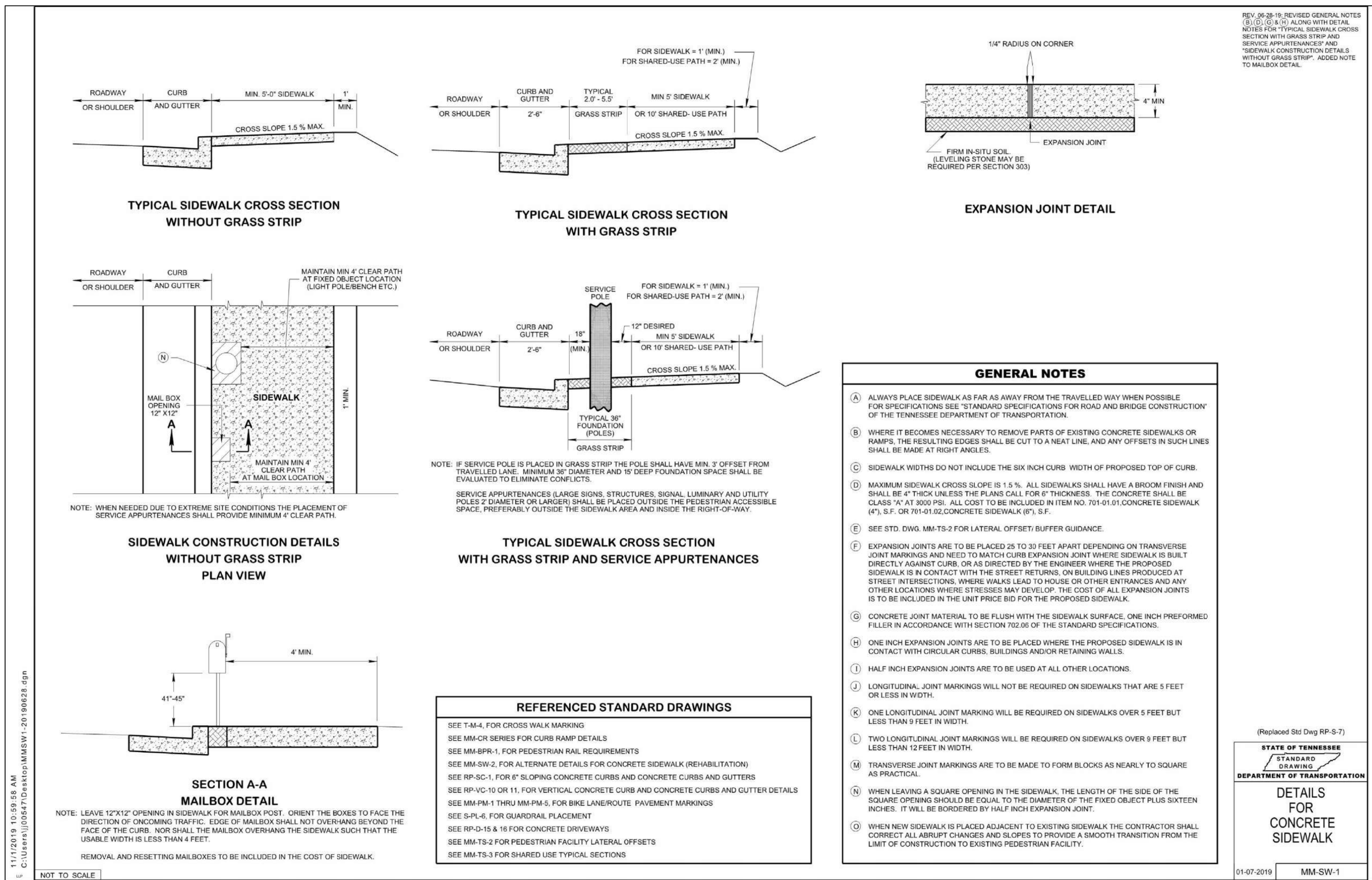
PANDA EXPRESS

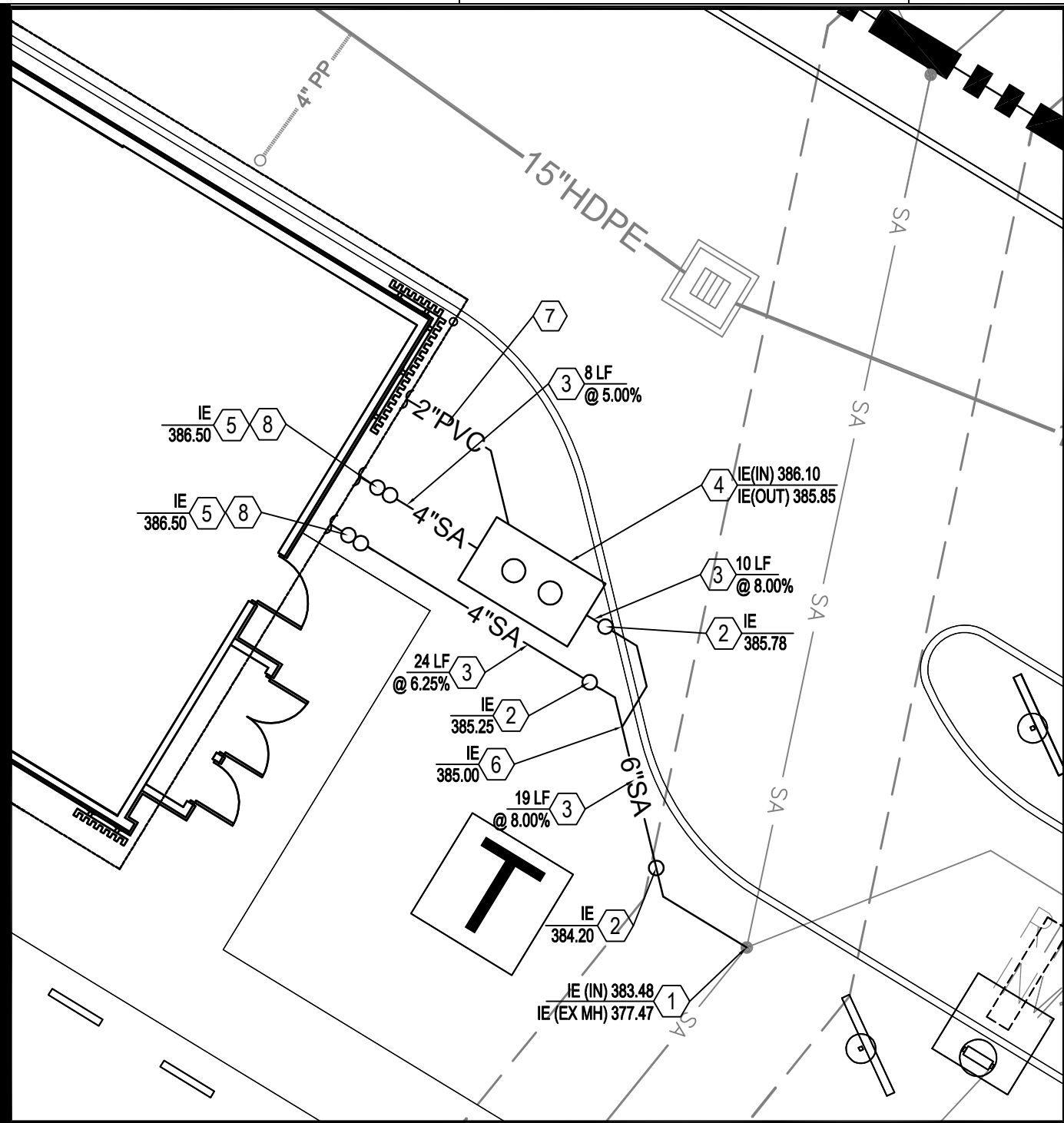
955 N. RIVERSIDE DRIVE
CLARKSVILLE, TN. 37040

TRUE WARM & WELCOME 2600-2022

HARDSCAPE DETAILS 3 C03.3

PANDA HOME 2600 R4





SANITARY SEWER AT BUILDING

SCALE 1"=10'

NOTE:
PROVIDE (2) 4" PVC CONDUITS UNDER DRIVES TO ALL LANDSCAPED AREAS.
PROVIDE 2" COVER AND CAP OFF. MARK STUB OUT WITH FLAG/MARKER.

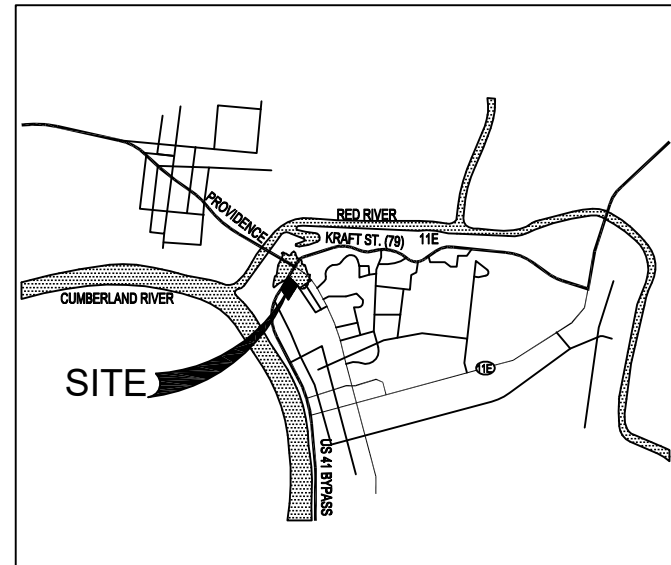
ALL LANDSCAPED AREAS TO BE IRRIGATED (IRRIGATION PLAN TO BE SUBBED OUT
THRU G.C.) - SEE LANDSCAPE DRAWINGS FOR PLANTINGS AND DETAILS

SEE M.E.P. PLANS FOR ALL UTILITY SERVICE ENTRIES.
LOCATIONS SHOWN ARE APPROXIMATE.

SEE CFT NV DEVELOPMENTS, LLC REAL PROPERTY PURCHASE AND SALE
AGREEMENT AND JOINT ESCROW INSTRUCTIONS, EXHIBIT "D" TO REAL PROPERTY
PURCHASE AGREEMENT FOR SELLERS WORK SCOPE ON SHEET C01.1

PROPOSED LEGEND

- SA SANITARY SEWER LINE PER LOCAL UTILITY COMPANY SPECS.
- W WATER LINE PER LOCAL UTILITY CO SPECS.
- GAS GAS LINE PER LOCAL UTILITY CO SPECS.
- UGE UNDERGROUND ELECTRIC SERVICE PER LOCAL UTILITY CO SPECS.
- UGC UNDERGROUND TELEPHONE AND COMMUNICATIONS SERVICE PER LOCAL UTILITY CO SPECS.
- GREASE TRAP - SEE PLUMBING PLANS
- WM WATER METER PER SERVICE PROVIDER SPECS.
- RPZ ABOVE GROUND RPZ WITH HEATED ENCLOSURE
- GAS METER PER SERVICE PROVIDER SPECS.
- ELECTRIC METER PER SERVICE PROVIDER SPECS.



LOCATION MAP

NOT TO SCALE

GENERAL NOTES

SEE UTILITY NOTES ON SHEET C01.1

PROPOSED UTILITY BLOCK NOTES

SANITARY SEWER SERVICE:

- TIE TO EXISTING SANITARY SEWER MANHOLE WITH INSIDE DROP PIPE ASSEMBLY PER SERVICE PROVIDER SPECS. - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE - CORE AND BOOT/ MANHOLE PER SERVICE PROVIDER SPECS.
- INSTALL SANITARY SEWER LATERAL CLEANOUT - SEE THIS SHEET FOR INVERT - SEE DETAIL SHEET (C04.1)
- INSTALL SEWER LINE PER LOCAL SERVICE PROVIDER SPECS. - SEE SLOPE AND LENGTH THIS SHEET - COORDINATE WITH LOCAL SERVICE PROVIDER PRIOR TO ANY WORK DONE
- INSTALL GREASE TRAP WITH TRAFFIC RATED MANHOLE COVERS AND FRAMES - SEE PLUMBING PLANS FOR SIZE - RIMS TO MATCH PROPOSED GRADES
- SANITARY SEWER SERVICE ENTRY FROM BUILDING - SEE ELEVATION THIS SHEET - SEE PLUMBING PLANS FOR CONTINUATION AND POINT OF ENTRY
- PROVIDE 6"x6"x6" SANITARY SEWER WYE WITH 4"x6" REDUCER PER SERVICE PROVIDER SPECS. - SEE THIS SHEET FOR INVERTS
- 2" VENT PIPE FROM GREASE TRAP TO BUILDING - SEE M.E.P. PLANS FOR ENTRY AND DETAILS
- INSTALL SANITARY SEWER TWO WAY LATERAL CLEANOUT - SEE THIS SHEET FOR INVERT - SEE DETAIL SHEET (C04.1)

WATER SERVICE:

- CONNECT TO EXISTING WATER MAIN WITH 2" TAPPING SADDLE AND CORPORATION STOP VALVE FOR DOMESTIC SERVICE PER LOCAL SERVICE PROVIDER SPECS. - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE
- CONNECT TO EXISTING WATER MAIN WITH 1" TAPPING SADDLE AND CORPORATION STOP VALVE FOR IRRIGATION SERVICE PER LOCAL SERVICE PROVIDER SPECS. - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE
- 1" METER AND VALVE WITH ABOVE GROUND RBPB IN HEATED ENCLOSURE FOR IRRIGATION WATER SERVICE PER LOCAL SERVICE PROVIDER JURISDICTION - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE - SEE DETAIL SHEET C04.1
- 2" METER AND VALVE WITH ABOVE GROUND RBPB IN HEATED ENCLOSURE FOR DOMESTIC WATER SERVICE PER LOCAL SERVICE PROVIDER JURISDICTION - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE - SEE DETAIL SHEET C04.1
- STUB OUT 1" SCH 40 PVC LINE FOR IRRIGATION
- PRIVATE DOMESTIC WATER SERVICE LINE - INSTALL 1 1/2" CLASS 200, DR9 HDPE PIPE POLYTYPE PIPES (PES400PES200 OR APPROVED EQUAL) - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE
- DOMESTIC WATER SERVICE ENTRY PER CITY SPECS. - SEE ELEVATION THIS SHEET - SEE PLUMBING PLANS
- PROVIDE CONCRETE PAD AT ABOVE GROUND RPZ AND ENCLOSURE - SEE DETAIL SHEET C04.1

ELECTRIC SERVICE:

- CONNECTION TO EXISTING ELECTRICAL SERVICE PER LOCAL SERVICE PROVIDER SPECS. - G.C. TO COORDINATE WITH LOCAL SERVICE PROVIDER PRIOR TO ANY WORK DONE
- PRIMARY UNDERGROUND ELECTRICAL SERVICE PER LOCAL SERVICE PROVIDER SPECS. - COORDINATE WITH LOCAL SERVICE PROVIDER PRIOR TO ANY WORK DONE
- APPROXIMATE LOCATION FOR PROPOSED TRANSFORMER - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE
- SECONDARY UNDERGROUND ELECTRIC PER LOCAL SERVICE PROVIDER SPECS. - COORDINATE WITH LOCAL SERVICE PROVIDER PRIOR TO ANY WORK DONE - SEE ELECTRICAL PLANS FOR CONDUIT SIZE AND CONNECTION POINT INTO THE BUILDING.
- ELECTRIC SERVICE POINT OF ENTRY INTO BUILDING - SEE ELECTRICAL PLANS FOR CONDUIT SIZE AND CONNECTION POINT INTO THE BUILDING.
- PROVIDE UTILITY POLE PER LOCAL SERVICE PROVIDER SPECS. - G.C. TO COORDINATE WITH LOCAL SERVICE PROVIDER PRIOR TO ANY WORK DONE
- COMMUNICATIONS SERVICE:
 - APPROXIMATE POINT OF CONNECTION FOR TELEPHONE / COMMUNICATIONS SERVICE PER SERVICE PROVIDER SPECS. - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE
 - UNDERGROUND TELEPHONE / COMMUNICATIONS PER LOCAL SERVICE PROVIDER REQUIREMENTS COORDINATE WITH LOCAL SERVICE PROVIDERS PRIOR TO ANY WORK DONE - SEE M.E.P. PLANS FOR DEMANDS, SIZE, AND CONNECTION POINT INTO THE BUILDING.
 - UNDERGROUND TELEPHONE / COMMUNICATIONS POINT INTO THE BUILDING - COORDINATE WITH ELECTRIC SERVICE PROVIDER PRIOR TO ANY WORK DONE - SEE M.E.P. PLANS FOR DEMANDS, SIZE, AND CONNECTION POINT INTO THE BUILDING - PROVIDE BOLLARD SEE PLAN - SEE DETAIL

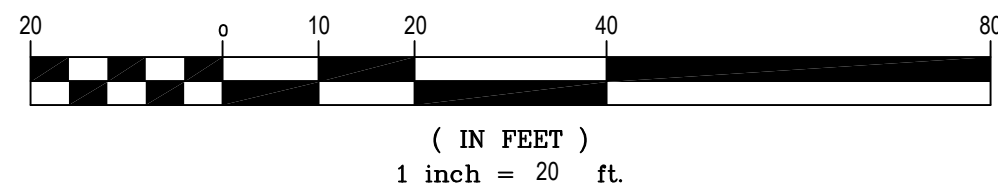
GAS SERVICE:

- TIE TO MAIN LINE PER LOCAL SERVICE PROVIDER REQUIREMENTS - COORDINATE WITH LOCAL SERVICE PROVIDER PRIOR TO ANY WORK DONE
- GAS SERVICE PER LOCAL SERVICE PROVIDER SPECS. - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE
- GAS METER AND SERVICE POINT INTO THE BUILDING - COORDINATE WITH ELECTRIC SERVICE PROVIDER PRIOR TO ANY WORK DONE - SEE M.E.P. PLANS FOR DEMANDS, SIZE, AND CONNECTION POINT INTO THE BUILDING
- RELOCATE 2" GAS MAIN PER SERVICE PROVIDER SPECS. - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE - GC TO ENSURE RELOCATED GAS MAIN IS CONSTRUCTED IN EXISTING EASEMENT

ADDITIONAL NOTES:

- UTILITY CROSSING PER SERVICE PROVIDER SPECS, SEE ELEVATIONS THIS SHEET

GRAPHIC SCALE



BM #1
TYPE: PK NAIL SET IN CURB
ELEVATION - 387.84
NORTHING - 905.593.25
EASTING - 1,567.031.62

FLOOD STATEMENT:
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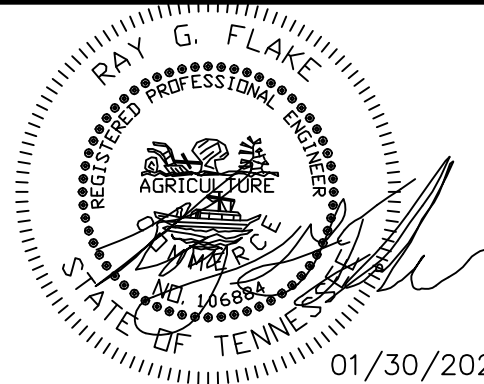
1	PERMIT/BID	09-13-2022
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PANDA PROJECT # D23503

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CEs

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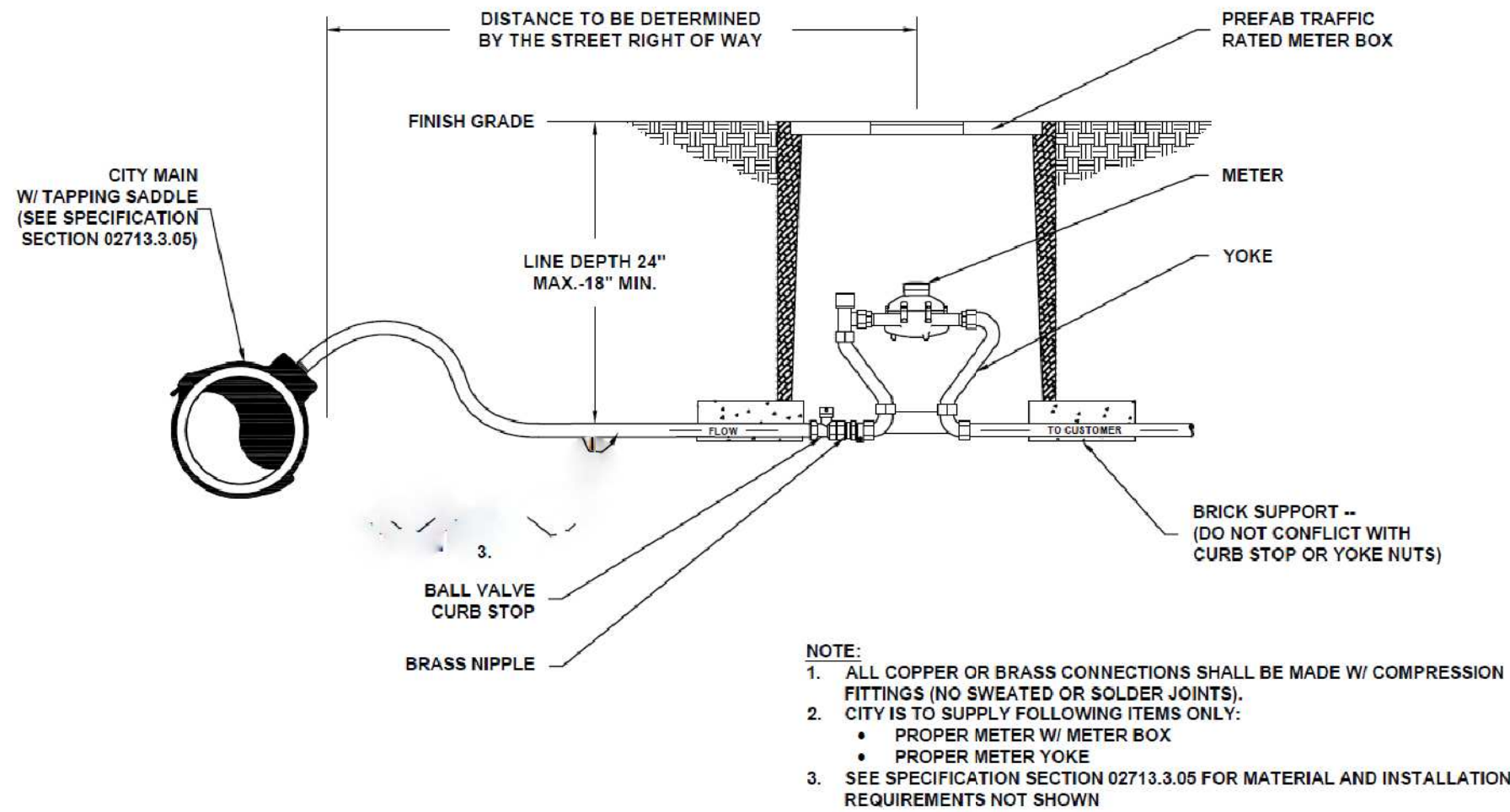
955 N. RIVERSIDE DRIVE
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TRUE WARM & WELCOME 2600-2022

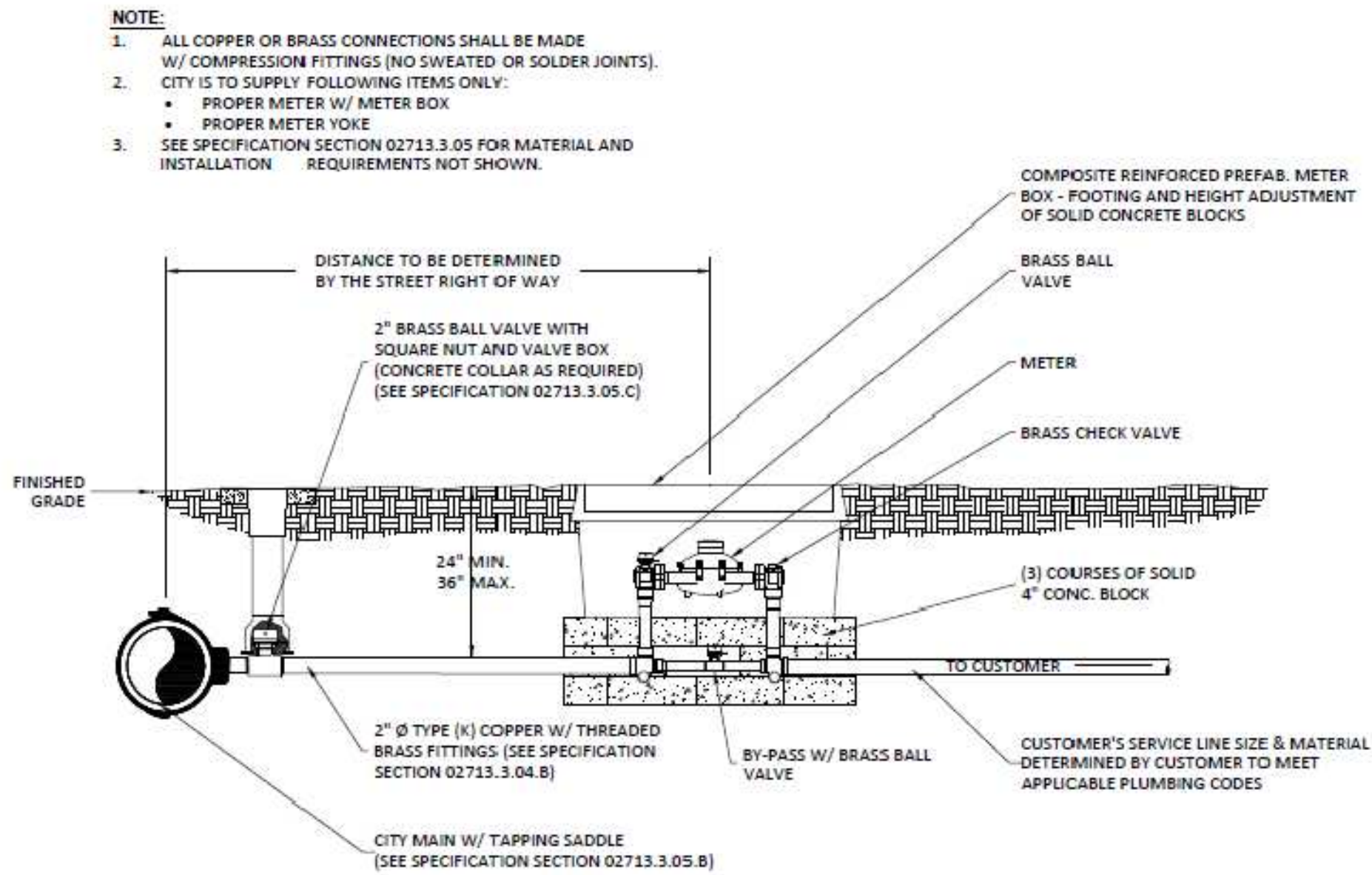
UTILITY PLAN

C04.0

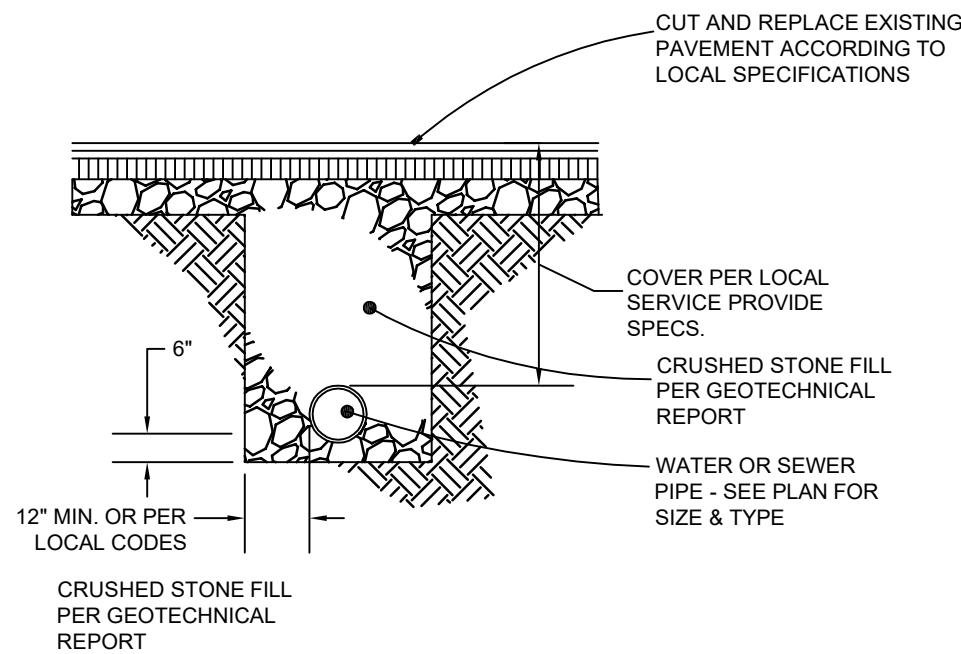
PANDA HOME 2600 R4



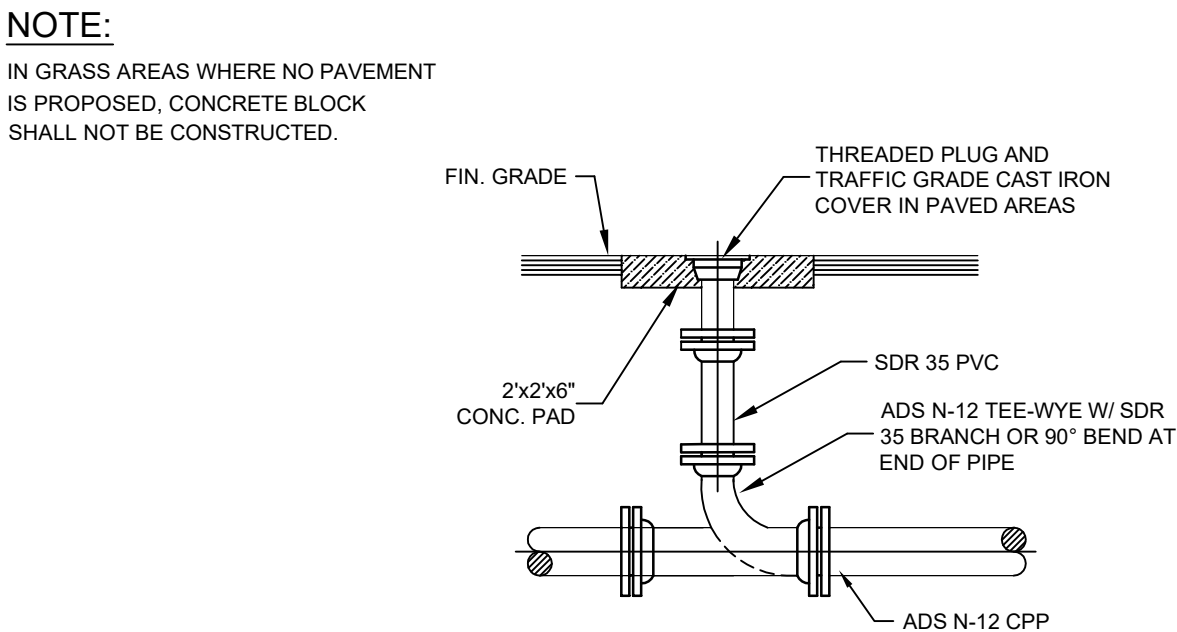
3/4" -1" METER SETUP DETAIL (NTS)



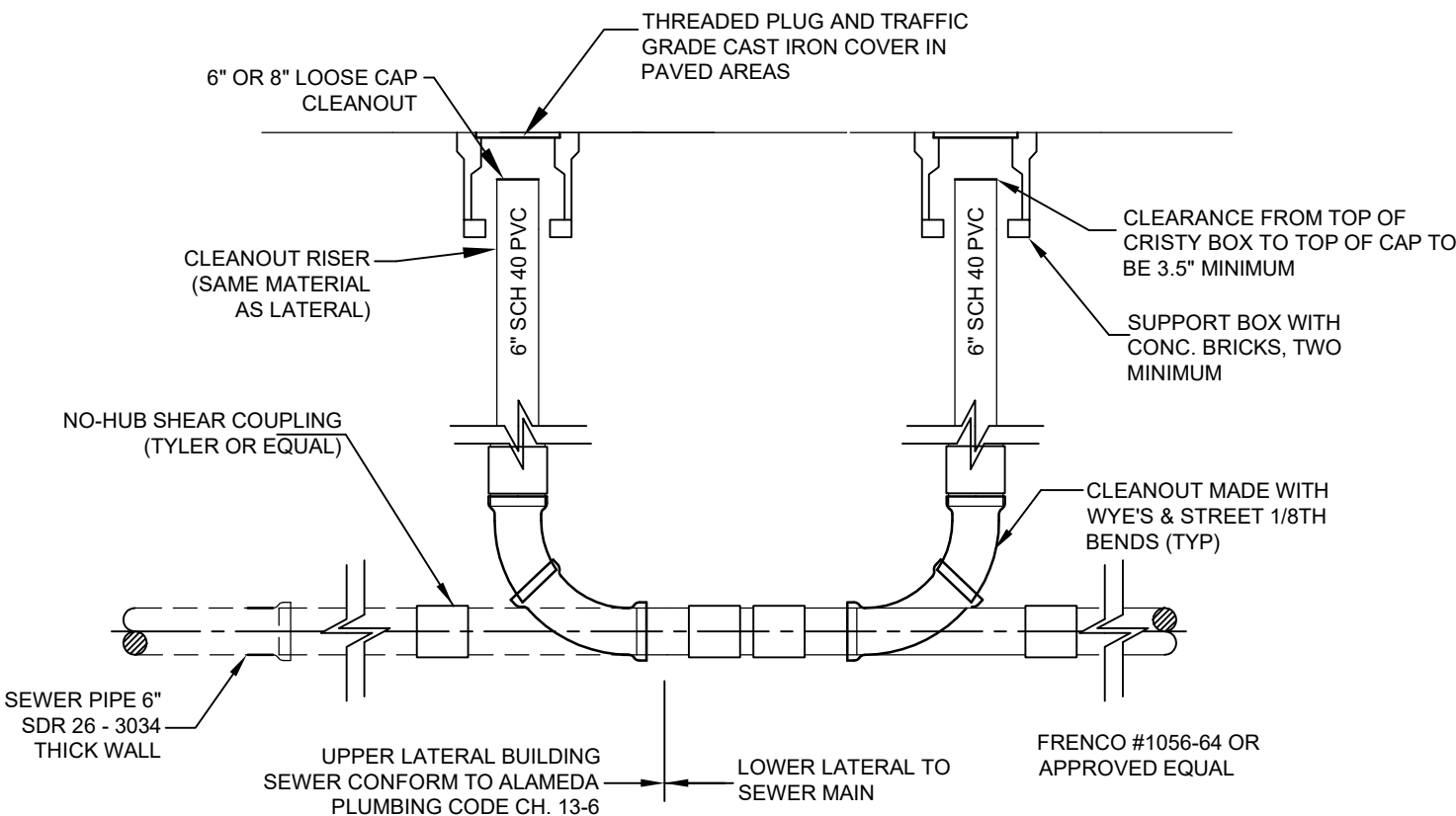
1 1/2"-2" METER SETUP DETAIL (NTS)



UTILITY TRENCH DETAIL
N.T.S.



PRIVATE STORM SEWER CLEANOUT
N.T.S.



PRIVATE SANITARY SEWER TWO WAY
CLEANOUT
N.T.S.



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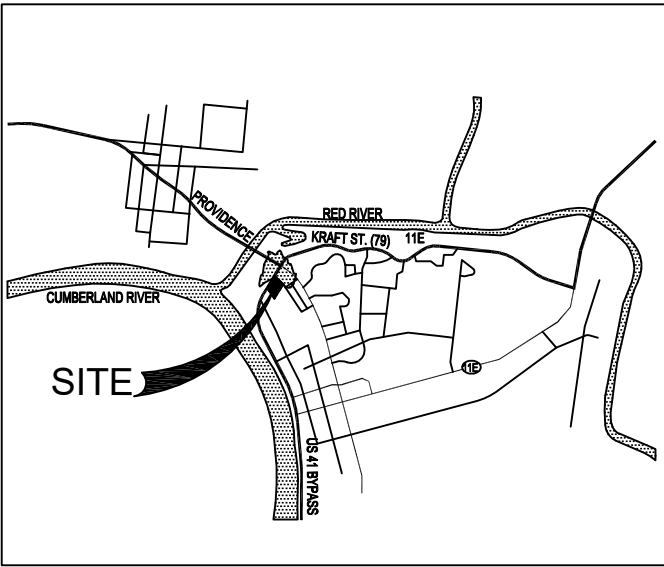
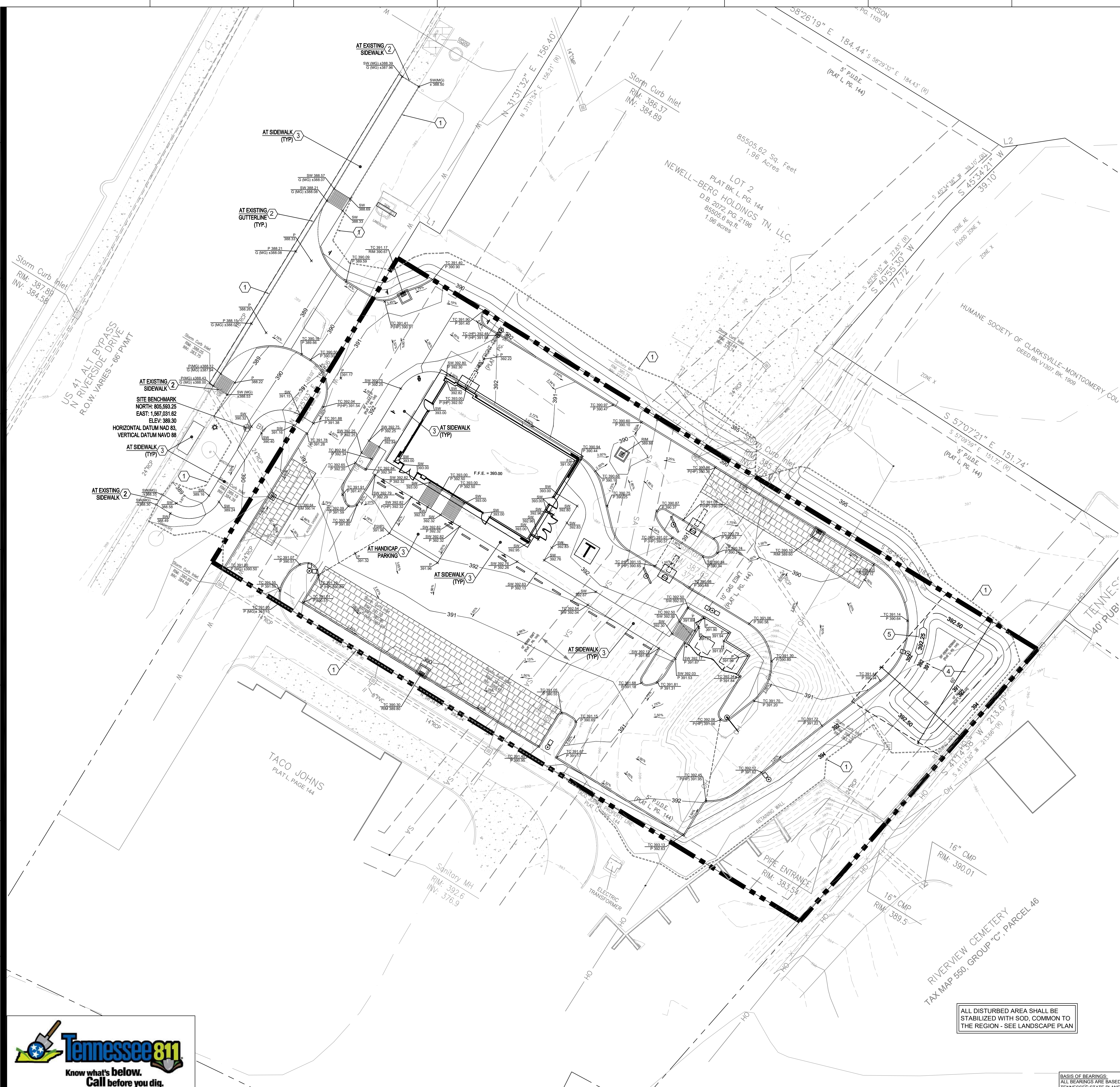
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CLARKSVILLE, TN. 37040

TRUE WARM & WELCOME 2600-2022

UTILITY DETAIL
SHEET
C04.1

PANDA HOME 2600 R4



LOCATION MAP
NOT TO SCALE

PROPOSED GRADING LEGEND

TC	PROPOSED TOP OF CURB ELEVATION
P	PROPOSED BOTTOM OF CURB/PAVEMENT ELEVATION
G	PROPOSED GUTTER LINE ELEVATION
FG	PROPOSED FINISHED GRADE ELEVATION
SW	PROPOSED SIDEWALK ELEVATION
HP	PROPOSED HIGH POINT ELEVATION
MG	MATCH EXISTING GRADE ELEVATION
IE	PROPOSED INVERT ELEVATION
RM	PROPOSED TOP OF GRATE ELEVATION
-----	LIMITS OF DISTURBANCE
	PROPOSED SLOPE DIRECTION
	PROPOSED STORM WATER CURB INLET
	PROPOSED STORM WATER AREA INLET

GRADING NOTE BLOCKS

- LIMITS OF LAND DISTURBANCE
- MATCH EXISTING GRADE
- PROVIDE 2.00% MAXIMUM CROSS SLOPE
- BIORETENTION AREA - SEE DETAIL SHEET (C05.2)
TOP OF BANK ELEVATION = 392.50
OVERFLOW WEIR ELEVATION = 392.25
100-YEAR W.S.E = 392.25
- 10' WIDE OVERFLOW WEIR ELEVATION = 392.25

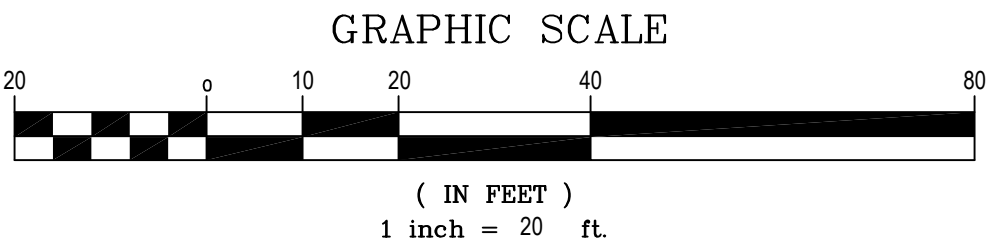
GRADING NOTES
SEE SHEET C01.1 FOR GRADING NOTES

GRADING INFORMATION
LIMITS OF DISTURBANCE = 51,861 SF / 1.19 AC

CONSTRUCTION NOTE:
DESIGN OF THE PANDA EXPRESS SITE, AS SHOWN IN THESE PLANS, ARE BASED UPON THE PROPOSED CONSTRUCTION PLANS FOR THE SUBJECT PROPERTY AND SURROUNDING SITE WORK. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS, UTILITIES, AND SITE FEATURES PRIOR TO ANY WORK DONE. NOTIFY OWNER/ENGINEER OF ANY CONFLICTS WITH DESIGN PRIOR TO ANY WORK DONE.

Q50 NOTE:
THERE WILL BE NO INCREASE IN THE Q50 RUNOFF FROM THE DEVELOPMENT ONTO TDOT RIGHT OF WAY.

SEE OFI NV DEVELOPMENTS, LLC REAL PROPERTY PURCHASE AND SALE AGREEMENT AND JOINT ESCROW INSTRUCTIONS, EXHIBIT "D" TO REAL PROPERTY PURCHASE AGREEMENT FOR SELLERS WORK SCOPE ON SHEET C01.1



BM #1
TYPE: PK NAIL SET IN CURB
ELEVATION - 387.64
NORTHING - 805,593.25
EASTING - 1,567,031.62

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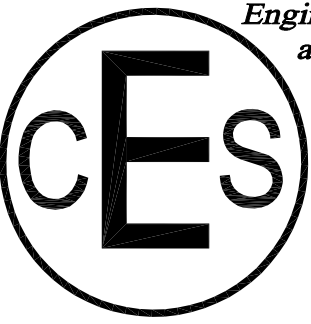
REVISIONS:

ISSUE DATE:

1	PERMIT/BID	09-13-2022
1	CONSTRUCTION	01-30-2023

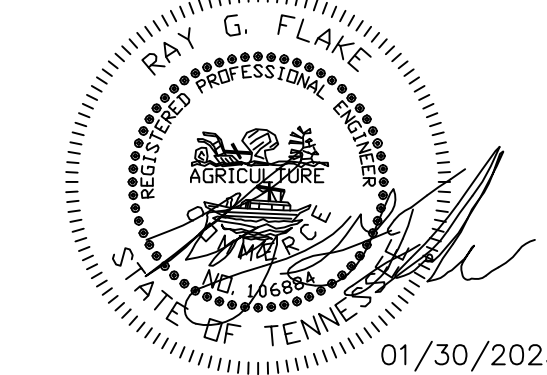
PANDA PROJECT #: D23503

Civil Engineering Services
Engineering, Land Planning,
and Environmental



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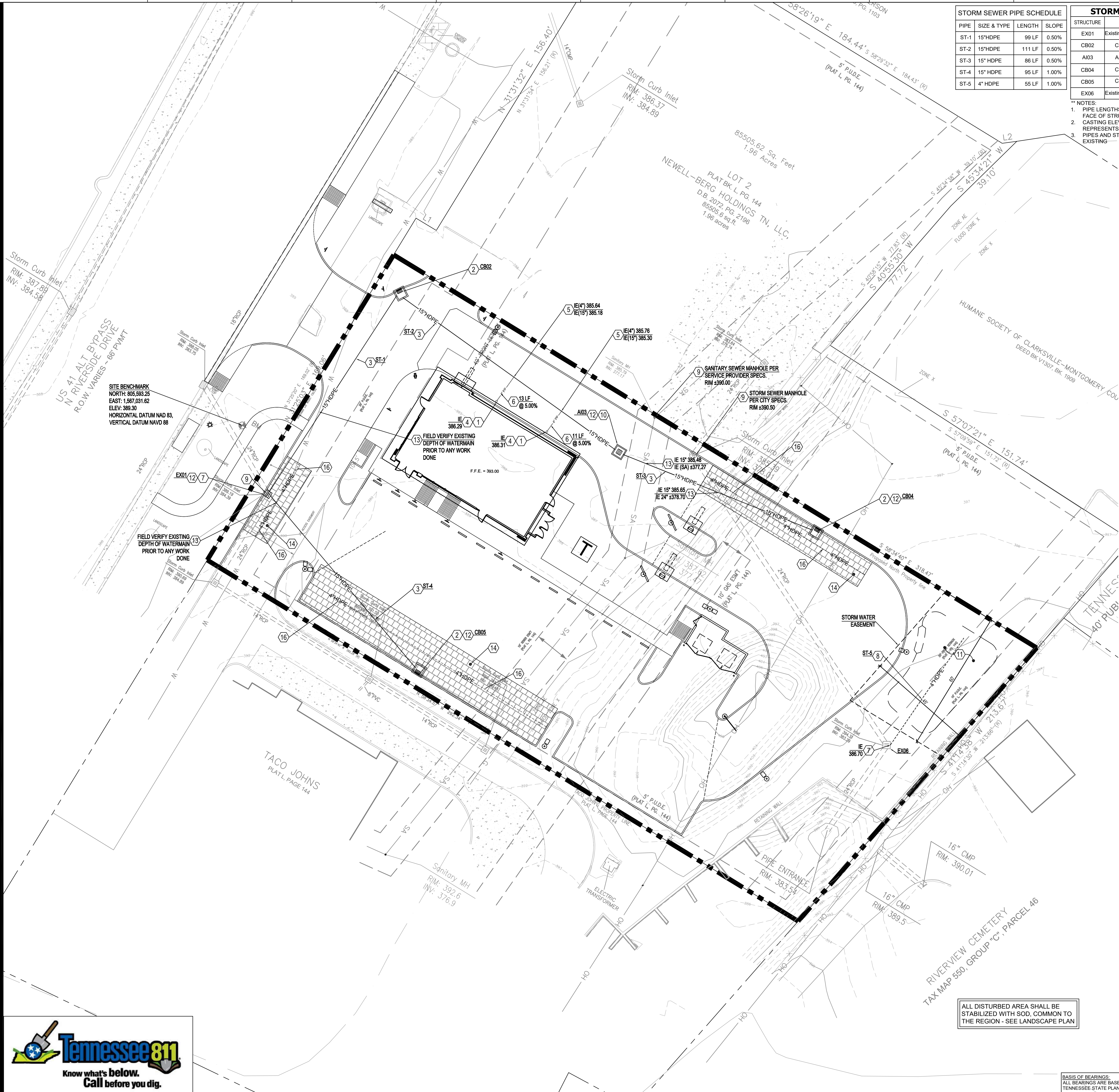
955 N. RIVERSIDE DRIVE
CLARKSVILLE, TN. 37040

TRUE WARM & WELCOME 2600-2022

GRADING PLAN

C05.0

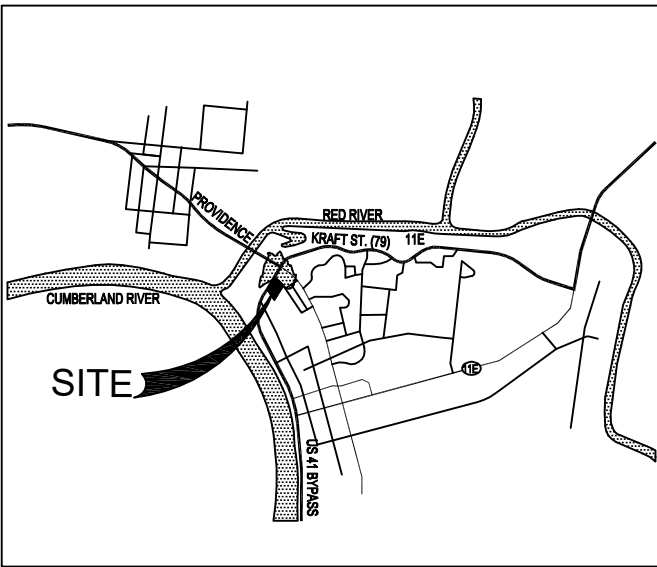
PANDA HOME 2600 R4



STORM SEWER PIPE SCHEDULE			
PIPE	SIZE & TYPE	LENGTH	SLOPE
ST-1	15" HDPE	99 LF	0.50%
ST-2	15" HDPE	111 LF	0.50%
ST-3	15" HDPE	86 LF	0.50%
ST-4	15" HDPE	95 LF	1.00%
ST-5	4" HDPE	55 LF	1.00%

STORM STRUCTURE TABLE				
STRUCTURE	TYPE	CASTING	INV IN	INV OUT
EX01	Existing Curb Inlet	390.14	384.39	384.39
CB02	Curb Inlet	390.67	384.89	384.89
AI03	Area Inlet	389.88	385.45	385.45
CB04	Curb Inlet	389.60	385.88	385.88
CB05	Curb Inlet	389.80	385.34	385.34
EX06	Existing Area Inlet	394.31	(4')386.70	383.29

- ** NOTES:
1. PIPE LENGTHS AND SLOPES ARE CALCULATED TO INSIDE FACE OF STRUCTURE
 2. CASTING ELEVATION SHOWN FOR CURB INLET REPRESENTS GRADE AT PAVEMENT
 3. PIPES AND STRUCTURES DESIGNATED WITH "EX" ARE EXISTING



LOCATION MAP

NOT TO SCALE

PROPOSED GRADING LEGEND

- 15" CMP
- IE
- RIM
- PROPOSED POLYPROPYLENE STORM SEWER PIPE
- LIMITS OF DISTURBANCE
- PROPOSED INVERT ELEVATION
- PROPOSED TOP OF GRATE ELEVATION
- PROPOSED STORM WATER CURB INLET
- PROPOSED STORM WATER AREA INLET

GENERAL GRADING NOTES

SEE SHEET C01.1 FOR GRADING NOTES

GRADING NOTE BLOCKS

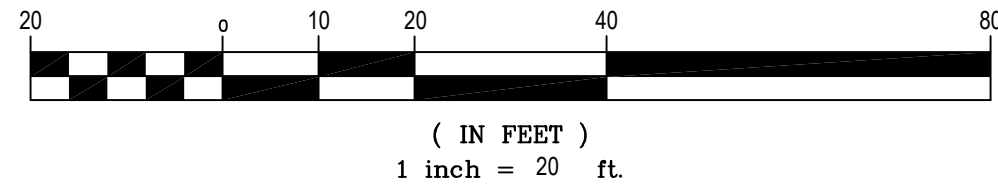
1. PROVIDE STORM SEWER CLEANOUT - SEE INVERT ELEVATION SHEET (C05.0) - SEE DETAIL SHEET (C03.2)
2. PROVIDE CURB INLET - SEE THIS SHEET FOR ELEVATIONS - SEE DETAIL SHEET (C05.2)
3. PROVIDE STORM SEWER PIPE - SEE THIS SHEET FOR ELEVATIONS - SEE DETAIL SHEET (C05.2)
4. TIE TO ROOF DRAIN COLLECTOR FROM BUILDING - SEE PLUMBING PLANS FOR UNDERGROUND CONNECTION AT BUILDING - SEE ELEVATION THIS SHEET - OVERFLOW PIPE FROM ROOF DRAIN TO DAYLIGHT THROUGH FACE OF CURB - SEE PLUMBING PLANS AND FOR LOCATION
5. PROVIDE 4"x18" WATER TIGHT HDPE TEE PER MANUFACTURER SPECS. - SEE INVERT ELEVATION THIS SHEET
6. PROVIDE WATER TIGHT POLYETHYLENE PIPE FOR ROOF DRAINS - SEE THIS SHEET FOR SIZE, TYPE AND ELEVATIONS
7. TIE TO EXISTING STRUCTURE PER MANUFACTURER SPECS. - SEE THIS SHEET FOR ELEVATIONS
8. UNDERDRAIN BIORETENTION AREA - SEE DETAIL SHEET (C05.2)
9. RAISE RIM OF EXISTING STRUCTURE TO MATCH PROPOSED GRADE - SEE THIS SHEET FOR ELEVATIONS
10. PROVIDE AREA INLET - SEE THIS SHEET FOR ELEVATIONS - SEE DETAIL SHEET (C05.2)
11. BIORETENTION AREA - SEE DETAIL SHEET (C05.2)
TOP OF BANK ELEVATION = 392.50
OVERFLOW WEIR ELEVATION = 392.25
100-YEAR W.S.E. = 392.25
12. OLDCASTLE FLOGARD CATCH BASIN INSERT, MODEL FGP-2436FGO
13. UTILITY CROSSING PER SERVICE PROVIDER SPECS, SEE ELEVATIONS THIS SHEET
14. PERVIOUS PAVERS - SEE DETAIL SHEET (C03.2)
15. OUTLET STRUCTURE AT BIORETENTION - SEE ELEVATIONS SHITS SHEET - SEE DETAIL SHEET (C03.2)
16. 4" PERFORATED HDPE WITH FILTER SOCK, SLOPE AT 1.00% MIN. - TIE TO CATCH BASIN OR TOP OF STORM SEWER PIPE - SEE THIS SHEET FOR LOCATION - SEE DETAIL SHEET (C03.2)

CONSTRUCTION NOTE:
DESIGN OF THE PANDA EXPRESS SITE, AS SHOWN IN THESE PLANS, ARE BASED UPON THE PROPOSED CONSTRUCTION PLANS FOR THE SUBJECT PROPERTY AND SURROUNDING SITE WORK. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS, UTILITIES, AND SITE FEATURES PRIOR TO ANY WORK DONE. NOTIFY OWNER/ENGINEER OF ANY CONFLICTS WITH DESIGN PRIOR TO ANY WORK DONE.

Q50 NOTE:
THERE WILL BE NO INCREASE IN THE Q50 RUNOFF FROM THE DEVELOPMENT ONTO TDOT RIGHT OF WAY.

SEE OVI NW DEVELOPMENTS, LLC REAL PROPERTY PURCHASE AND SALE AGREEMENT AND JOINT ESCROW INSTRUCTIONS, EXHIBIT "D" TO REAL PROPERTY PURCHASE AGREEMENT FOR SELLERS WORK SCOPE ON SHEET C01.1

GRAPHIC SCALE



ALL DISTURBED AREA SHALL BE STABILIZED WITH SOD, COMMON TO THE REGION - SEE LANDSCAPE PLAN

BM #1
TYPE: PK NAIL SET IN CURB
ELEVATION: -387.64
NORTHING: -805,593.25
EASTING: -1,567,031.62

FLOOD STATEMENT:
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE(S) X, FLOOD ZONE X AND ZONE AE OF THE FLOOD INSURANCE RATE MAP NUMBER 4712C02038E WHICH BEARS AN EFFECTIVE DATE OF 01/15/2021 AND IS IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.



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REVISIONS:

NO.	DESCRIPTION	DATE
1	PERMIT/BID	09-13-2022
1	CONSTRUCTION	01-30-2023

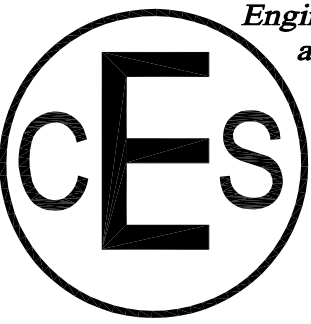
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PANDA PROJECT #: D23503

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01/30/2023

PANDA EXPRESS

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CLARKSVILLE, TN. 37040

TRUE WARM & WELCOME 2600-2022

DRAINAGE PLAN

C05.1

PANDA HOME 2600 R4





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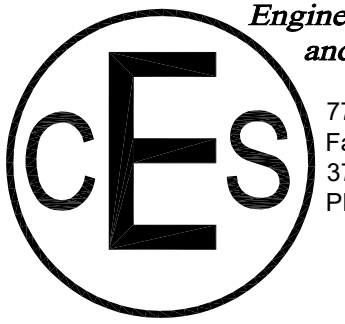
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TRUE WARM & WELCOME 2600-2022

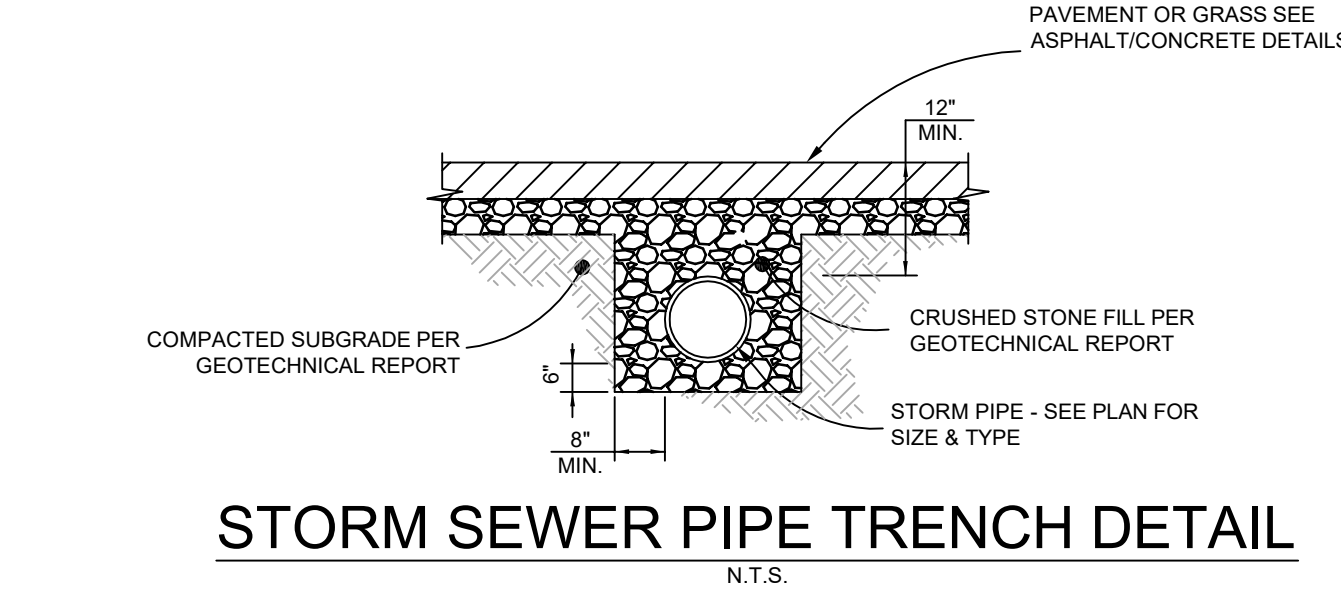
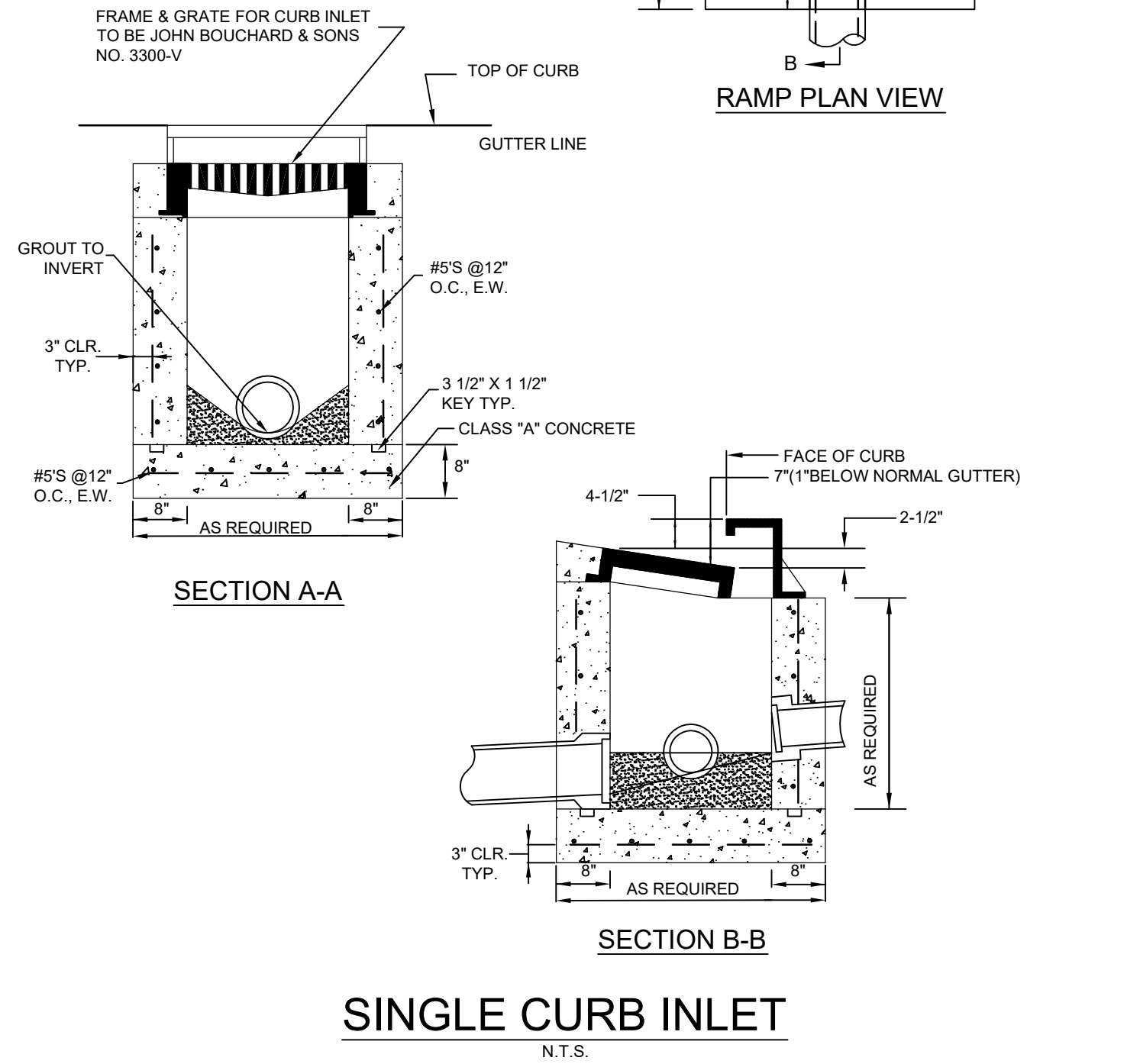
GRADING DETAIL
SHEET

C05.2

PANDA HOME 2600 R4

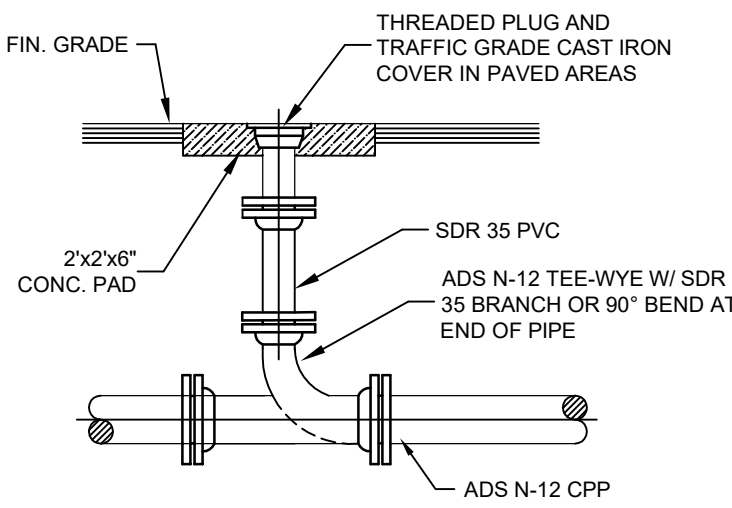
NOTE:

1. STORM WATER CURB INLET/AREA INLET TO HAVE ENVIRONMENTAL MESSAGE STAMPED INTO THE METAL "DUMP NO WASTE", "DRAINS TO STREAM".
2. THE CONTRACTOR SHALL POUR THE INVERTS IN ALL STORM WATER STRUCTURES.
3. OPTIONAL CONSTRUCTION PRE-FAB. CONCRETE EQUIVALENT.



NOTE:

IN GRASS AREAS WHERE NO PAVEMENT IS PROPOSED, CONCRETE BLOCK SHALL NOT BE CONSTRUCTED.



PRIVATE STORM SEWER CLEANOUT
N.T.S.



STORM WATER

FLOGARD®

Catch Basin Insert Filter

Catch basin insert designed to capture sediment, gross solids, trash and petroleum hydrocarbons from low ("first flush") flows, even during the most extreme weather conditions

Example Types, Sizes and Capacities: Additional sizes, including regional and custom options are available.

Regional Catch Basins - SPECIFIC CHART					
MODEL NO.	STANDARD DEPTH		SHALLOW DEPTH		MODEL NO.
	INLET TO BASIN	GRADE TO BASIN	INLET TO BASIN	GRADE TO BASIN	
STANDARD DEPTH	INLET TO BASIN	GRADE TO BASIN	INLET TO BASIN	GRADE TO BASIN	STANDARD DEPTH
STANDARD DEPTH	INLET TO BASIN	GRADE TO BASIN	INLET TO BASIN	GRADE TO BASIN	STANDARD DEPTH
100-100-100	10.0	10.0	10.0	10.0	100-100-100
100-100-100	10.0	10.0	10.0	10.0	100-100-100
100-100-100	10.0	10.0	10.0	10.0	100-100-100
100-100-100	10.0	10.0	10.0	10.0	100-100-100
100-100-100	10.0	10.0	10.0	10.0	100-100-100

Regional Catch Basins - SPECIFIC CHART					
MODEL NO.	STANDARD DEPTH		SHALLOW DEPTH		MODEL NO.
	INLET TO BASIN	GRADE TO BASIN	INLET TO BASIN	GRADE TO BASIN	
STANDARD DEPTH	INLET TO BASIN	GRADE TO BASIN	INLET TO BASIN	GRADE TO BASIN	STANDARD DEPTH
STANDARD DEPTH	INLET TO BASIN	GRADE TO BASIN	INLET TO BASIN	GRADE TO BASIN	STANDARD DEPTH
100-100-100	10.0	10.0	10.0	10.0	100-100-100
100-100-100	10.0	10.0	10.0	10.0	100-100-100
100-100-100	10.0	10.0	10.0	10.0	100-100-100
100-100-100	10.0	10.0	10.0	10.0	100-100-100
100-100-100	10.0	10.0	10.0	10.0	100-100-100

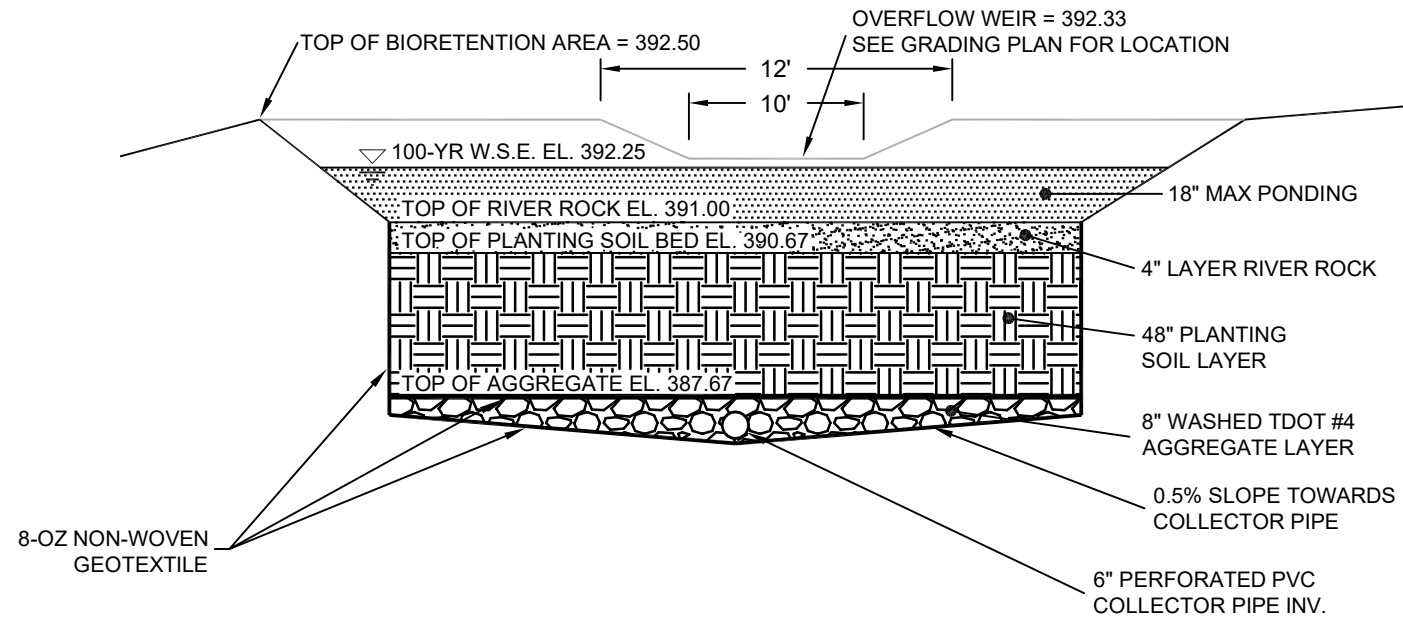
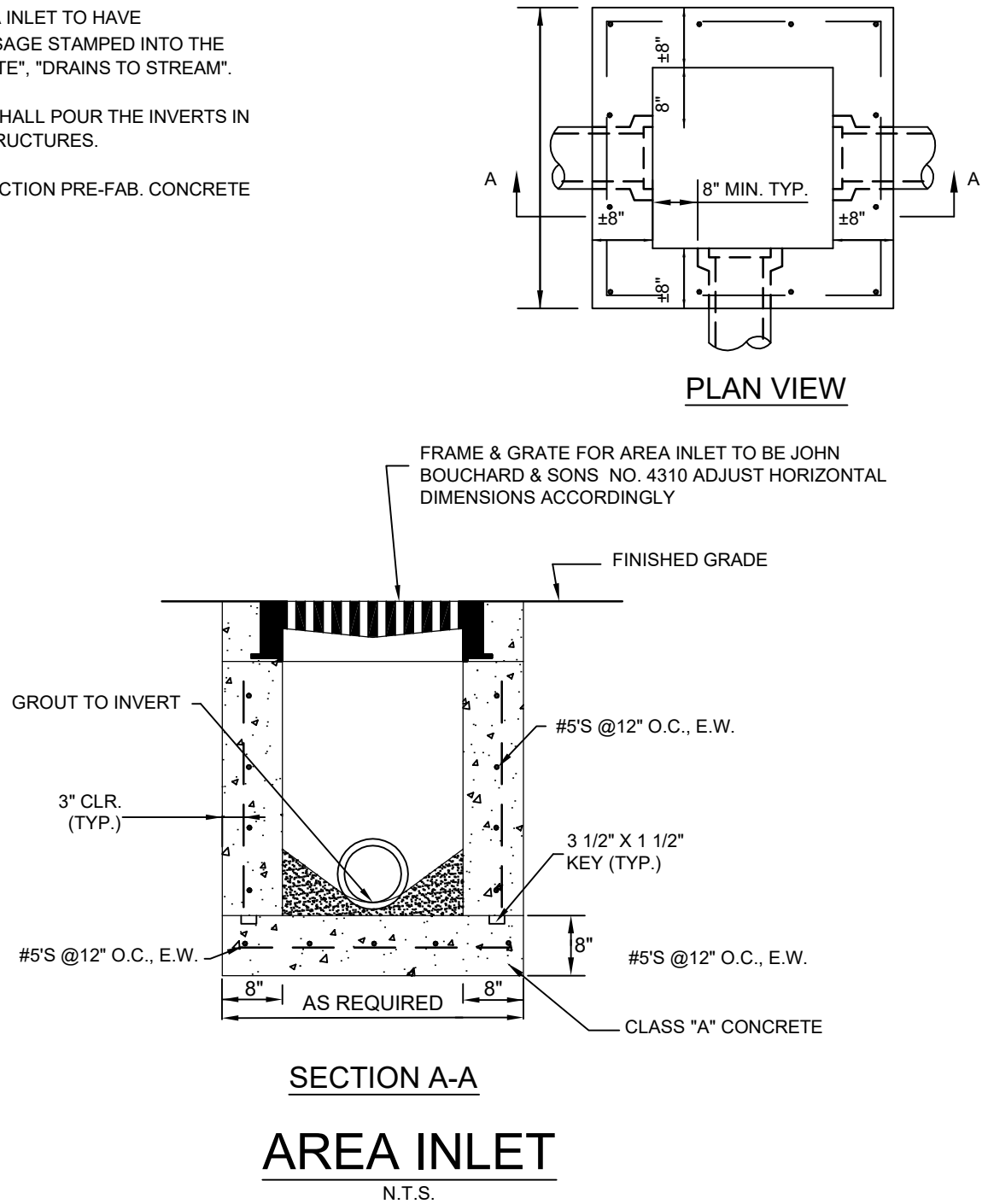
Regional Circular Grated Inlet - SPECIFIC CHART					
MODEL NO.	STANDARD DEPTH		SHALLOW DEPTH		MODEL NO.
	INLET TO BASIN	GRADE TO BASIN	INLET TO BASIN	GRADE TO BASIN	
STANDARD DEPTH	INLET TO BASIN	GRADE TO BASIN	INLET TO BASIN	GRADE TO BASIN	STANDARD DEPTH
STANDARD DEPTH	INLET TO BASIN	GRADE TO BASIN	INLET TO BASIN	GRADE TO BASIN	STANDARD DEPTH
100-100-100	10.0	10.0	10.0	10.0	100-100-100
100-100-100	10.0	10.0	10.0	10.0	100-100-100
100-100-100	10.0	10.0	10.0	10.0	100-100-100
100-100-100	10.0	10.0	10.0	10.0	100-100-100
100-100-100	10.0	10.0	10.0	10.0	100-100-100

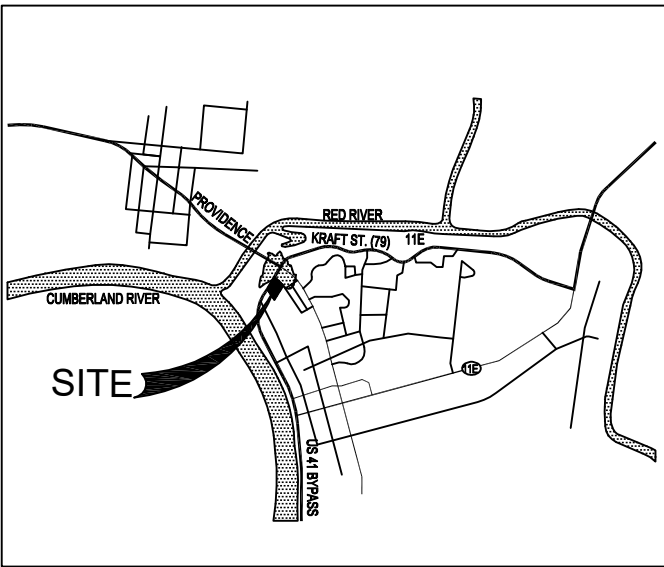
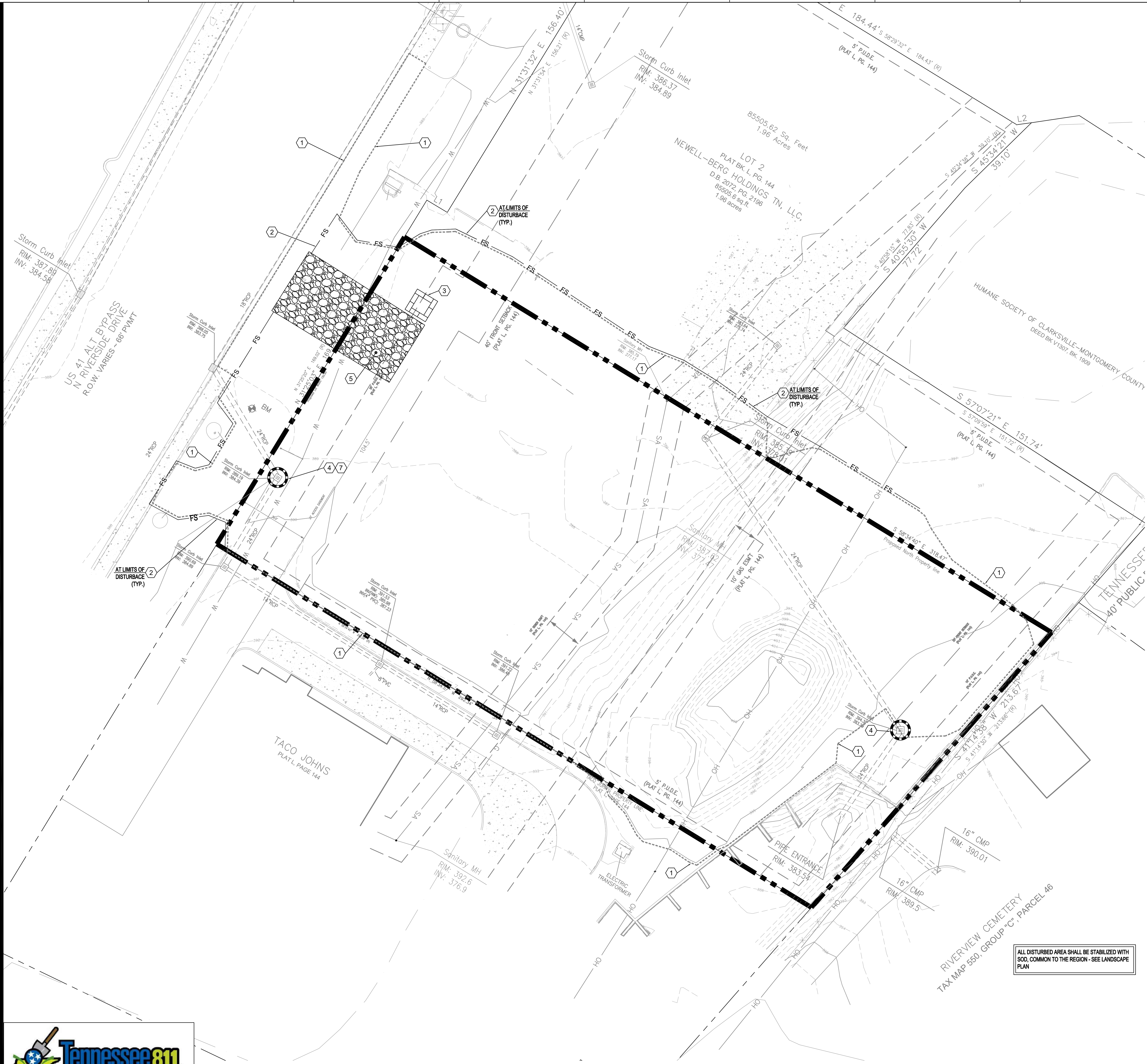


INLET FILTRATION

NOTE:

1. STORM WATER AREA INLET TO HAVE ENVIRONMENTAL MESSAGE STAMPED INTO THE METAL "DUMP NO WASTE", "DRAINS TO STREAM".
2. THE CONTRACTOR SHALL POUR THE INVERTS IN ALL STORM WATER STRUCTURES.
3. OPTIONAL CONSTRUCTION PRE-FAB. CONCRETE EQUIVALENT.





LOCATION MAP

NOT TO SCALE

PROPOSED LEGEND

- TEMPORARY CONSTRUCTION EXIT
- INSTALL INLET PROTECTION (SEE DETAIL SHEET)
- INSTALL FILTER SOCK (SEE DETAIL SHEET)
- CONCRETE WASHOUT AREA
- LIMITS OF DISTURBANCE

KEYNOTES

- LIMITS OF LAND DISTURBANCE
- INSTALL FILTER SOCK SEDIMENT PROTECTION OR APPROVED EQUAL - MAINTAIN THROUGHOUT CONSTRUCTION - FIELD ADJUST AS REQUIRED - SEE DETAIL SHEET (C06.2)
- CONCRETE WASHOUT PER EPA STANDARDS - CONTRACTOR TO FIELD ADJUST LOCATION ON SITE AS NEEDED - SEE DETAIL SHEET (C06.2)
- INSTALL FILTER SOCK INLET PROTECTION OR APPROVED EQUAL - SEE DETAIL SHEET (C06.2)
- EXISTING GRAVEL AREA TO BE UTILIZED AS THE CONSTRUCTION ENTRANCE
- BIORETENTION AREA - SEE DETAIL SHEET (C06.2)
- OLDCASTLE FLOGARD CATCH BASIN INSERT, MODEL FGP-2436FGO

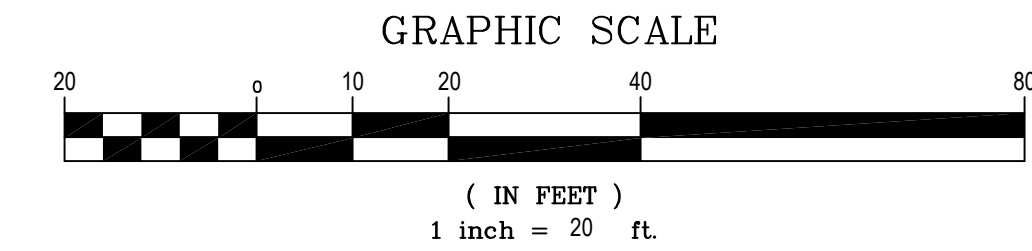
EROSION CONTROL NOTES

SEE SHEET C1.1 FOR EROSION CONTROL NOTES

GRADING INFORMATION

LIMITS OF DISTURBANCE = 51,861 SF / 1.19 AC

SEE CITY DEVELOPMENTS, LLC REAL PROPERTY PURCHASE AND SALE AGREEMENT AND JOINT ESCROW INSTRUCTIONS, EXHIBIT "D" TO REAL PROPERTY PURCHASE AGREEMENT FOR SELLERS WORK SCOPE ON SHEET C01.1



BM #1
TYPE: PK NAIL SET IN CURB
ELEVATION: -387.64
NORTHING: -805,593.25
EASTING: -1,567,031.62

FLOOD STATEMENT:
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE(S) X, FLOOD ZONE X AND ZONE AE OF THE FLOOD INSURANCE RATE MAP NUMBER 4712C0238E WHICH BEARS AN EFFECTIVE DATE OF 01/15/2021 AND IS IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

BASIS OF BEARINGS:
ALL BEARINGS ARE BASED ON NAD'83,
TENNESSEE STATE PLANE.



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91770
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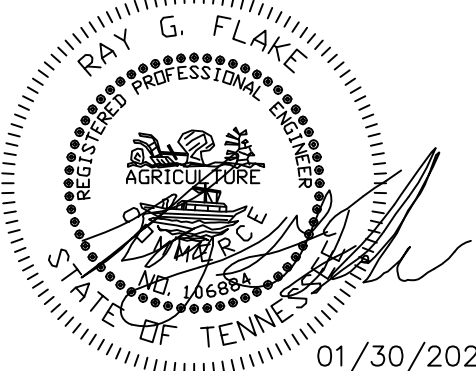
PANDA PROJECT #: D23503

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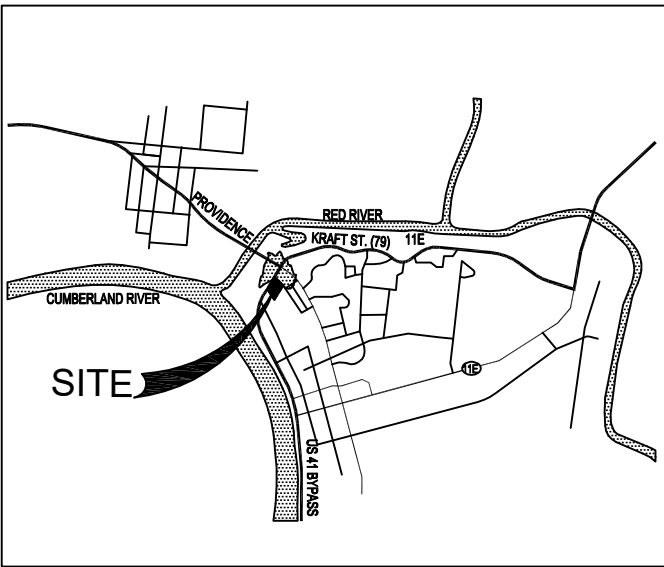
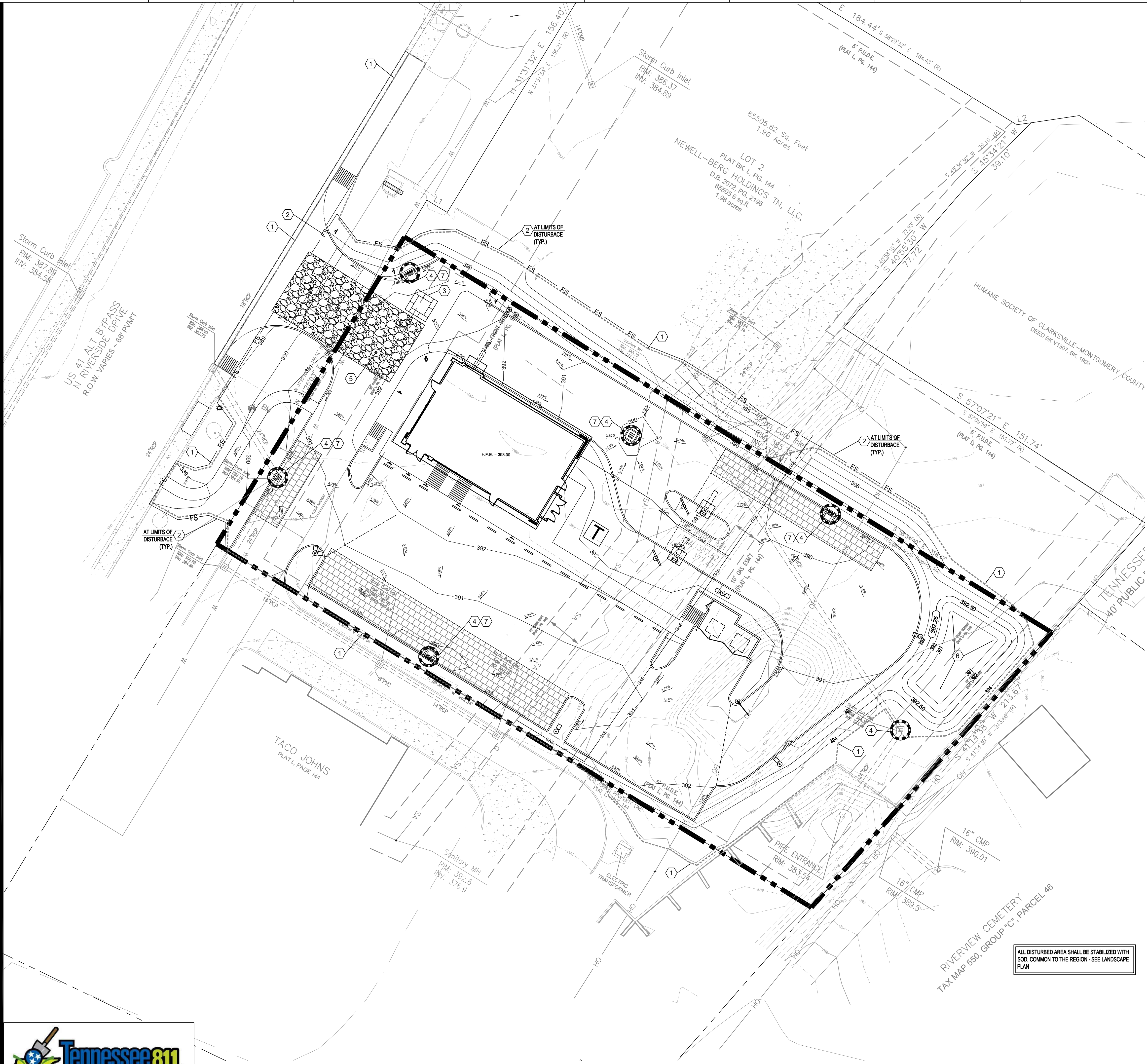
TRUE WARM & WELCOME 2600-0222

INITIAL EROSION CONTROL PLAN C06.0

PANDA HOME 2600 R4

ISSUE FOR PERMIT 09-13-2022

ISSUE FOR PERMIT 09-13-2022



LOCATION MAP
NOT TO SCALE

PROPOSED LEGEND

- TEMPORARY CONSTRUCTION EXIT
- INSTALL INLET PROTECTION (SEE DETAIL SHEET)
- INSTALL FILTER SOCK (SEE DETAIL SHEET)
- CONCRETE WASHOUT AREA
- LIMITS OF DISTURBANCE

KEYNOTES

- LIMITS OF LAND DISTURBANCE
- INSTALL FILTER SOCK SEDIMENT PROTECTION OR APPROVED EQUAL - MAINTAIN THROUGHOUT CONSTRUCTION - FIELD ADJUST AS REQUIRED - SEE DETAIL SHEET (C06.2)
- CONCRETE WASHOUT PER EPA STANDARDS - CONTRACTOR TO FIELD ADJUST LOCATION ON SITE AS NEEDED - SEE DETAIL SHEET (C06.2)
- INSTALL FILTER SOCK INLET PROTECTION OR APPROVED EQUAL - SEE DETAIL SHEET (C06.2)
- EXISTING GRAVEL AREA TO BE UTILIZED AS THE CONSTRUCTION ENTRANCE
- BIORETENTION AREA - SEE DETAIL SHEET (C06.2)
- OLDCASTLE FLOODGATE CATCH BASIN INSERT, MODEL FGP-2436FGO

EROSION CONTROL NOTES

SEE SHEET C1.1 FOR EROSION CONTROL NOTES

GRADING INFORMATION

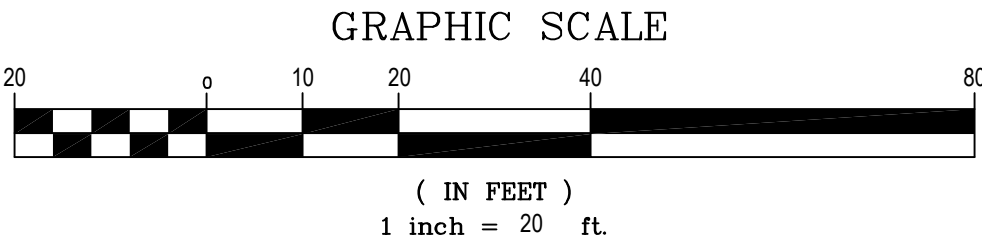
LIMITS OF DISTURBANCE = 51,861 SF / 1.19 AC

THE CONSTRUCTION SCHEDULE FOR THE EROSION CONTROL PLAN IS AS FOLLOWS:

- INSTALL TEMPORARY CONSTRUCTION ENTRANCE, STORM INLET PROTECTIONS AND PERIMETER EROSION CONTROLS (SILT FENCE OR FILTER SOCKS) AS SHOWN ON THE INITIAL EROSION CONTROL PLAN.
- BEGIN EARTH MOVING ACTIVITIES TO ESTABLISH SUBGRADE.
- CONSTRUCT/INSTALL ALL UNDERGROUND UTILITIES AND STORM SEWER, INCLUDING STORM INLET PROTECTION DEVICES.
- INSTALL CONCRETE WASHOUT AREA.
- CONSTRUCT COMMERCIAL BUILDING.
- PERFORM CONCRETE PAVING ACTIVITIES.
- PERFORM ASPHALT PAVING ACTIVITIES.
- INSTALL LANDSCAPING IN LANDSCAPED AREAS AND STABILIZE ALL DISTURBED AREAS WITH VEGETATION.
- REMOVE TEMPORARY EROSION CONTROL DEVICES ONLY ONCE A HARDY STAND OF VEGETATION HAS BEEN ESTABLISHED.
- CEASE WEEKLY INSPECTIONS.
- COMPLETE AND SUBMIT NOTICE OF TERMINATION (NOT) FORM TO TDEC.

SEE CFT NV DEVELOPMENTS, LLC REAL PROPERTY PURCHASE AND SALE AGREEMENT AND JOINT ESCROW INSTRUCTIONS, EXHIBIT 'D' TO REAL PROPERTY PURCHASE AGREEMENT FOR SELLERS WORK SCOPE ON SHEET C01.1

ALL DISTURBED AREA SHALL BE STABILIZED WITH SOD, COMMON TO THE REGION - SEE LANDSCAPE PLAN



BM #1
TYPE: PK NAIL SET IN CURB
ELEVATION: -387.64
NORTHING: -805,593.25
EASTING: -1,567,031.62

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BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE(S) X, FLOOD ZONE X AND ZONE AE OF THE FLOOD INSURANCE RATE MAP NUMBER 4712C02028E WHICH BEARS AN EFFECTIVE DATE OF 01/15/2021 AND IS IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.



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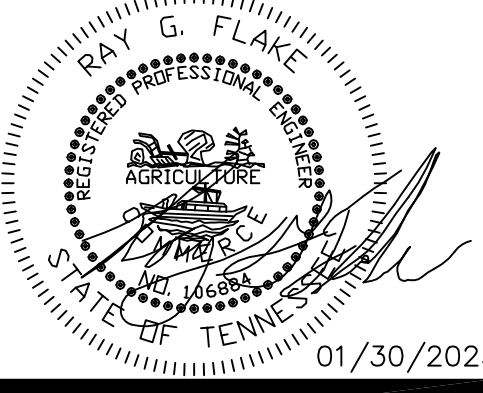
REVISIONS:

ISSUE DATE:

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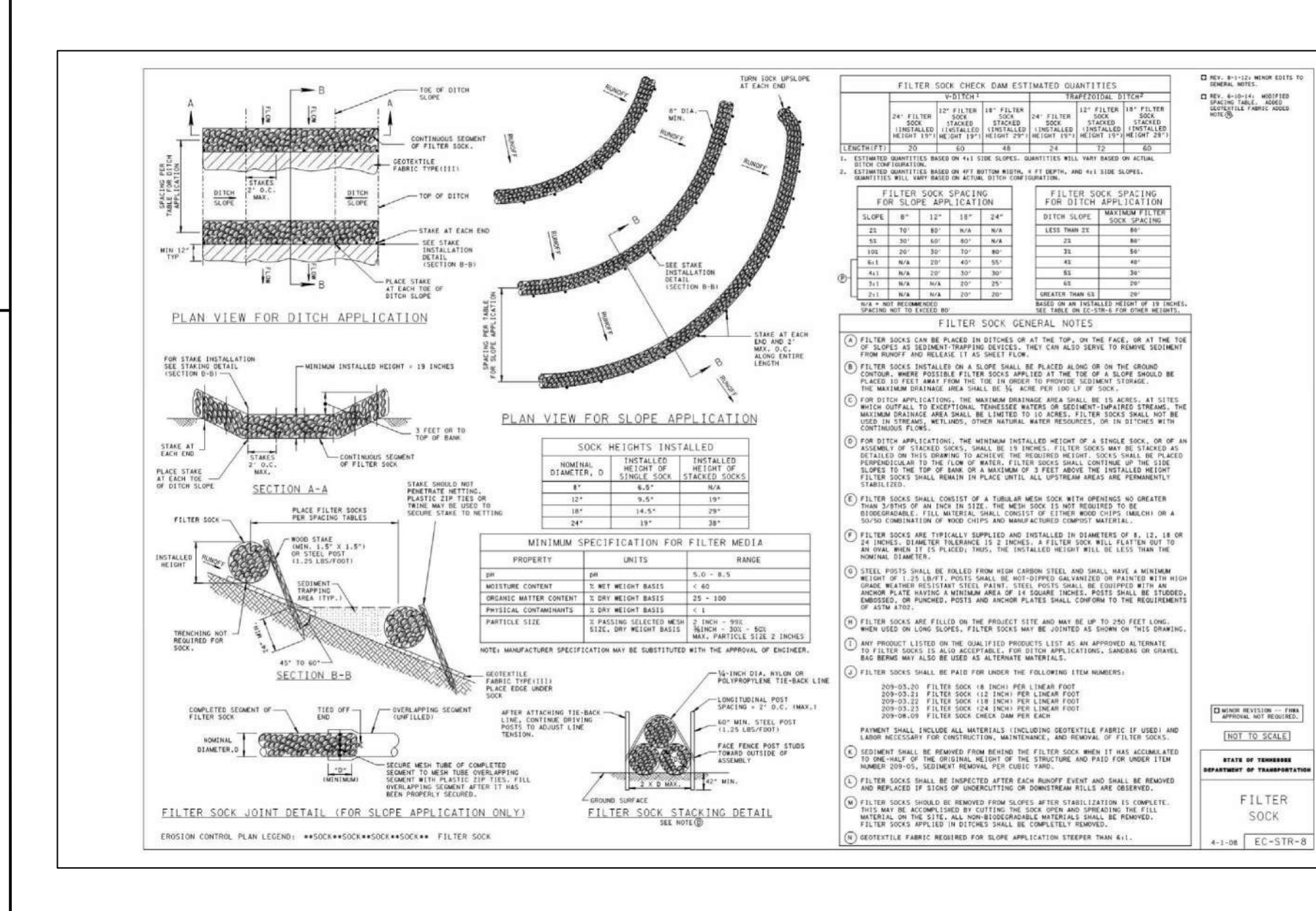
TRUE WARM & WELCOME 2600-2022

FINAL EROSION
CONTROL PLAN
C06.1

PANDA HOME 2600 R4

ISSUE FOR PERMIT 09-13-2022

ISSUE FOR PERMIT 09-13-2022

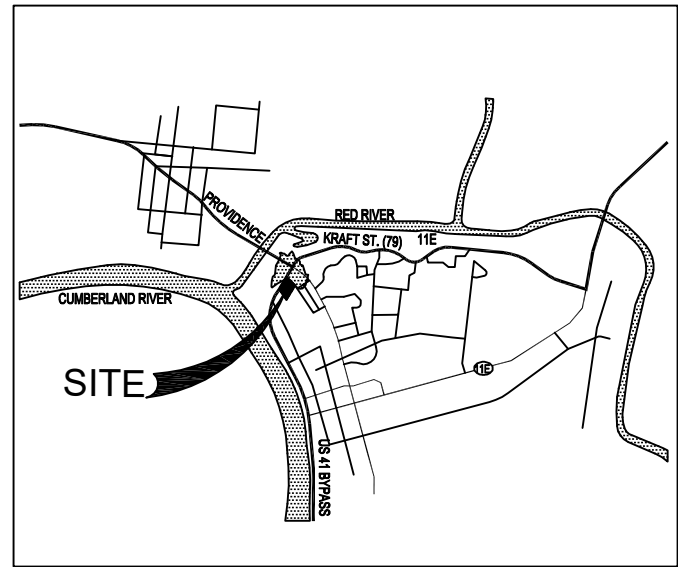


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SEE CFT NV DEVELOPMENTS, LLC REAL PROPERTY PURCHASE AND SALE AGREEMENT AND JOINT ESCROW INSTRUCTIONS, EXHIBIT "D" TO REAL PROPERTY PURCHASE AGREEMENT FOR SELLERS WORK SCOPE ON SHEET C01.1

PROPOSED SITE LEGEND

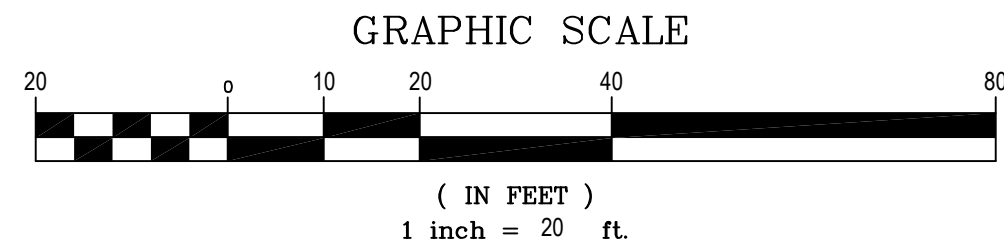
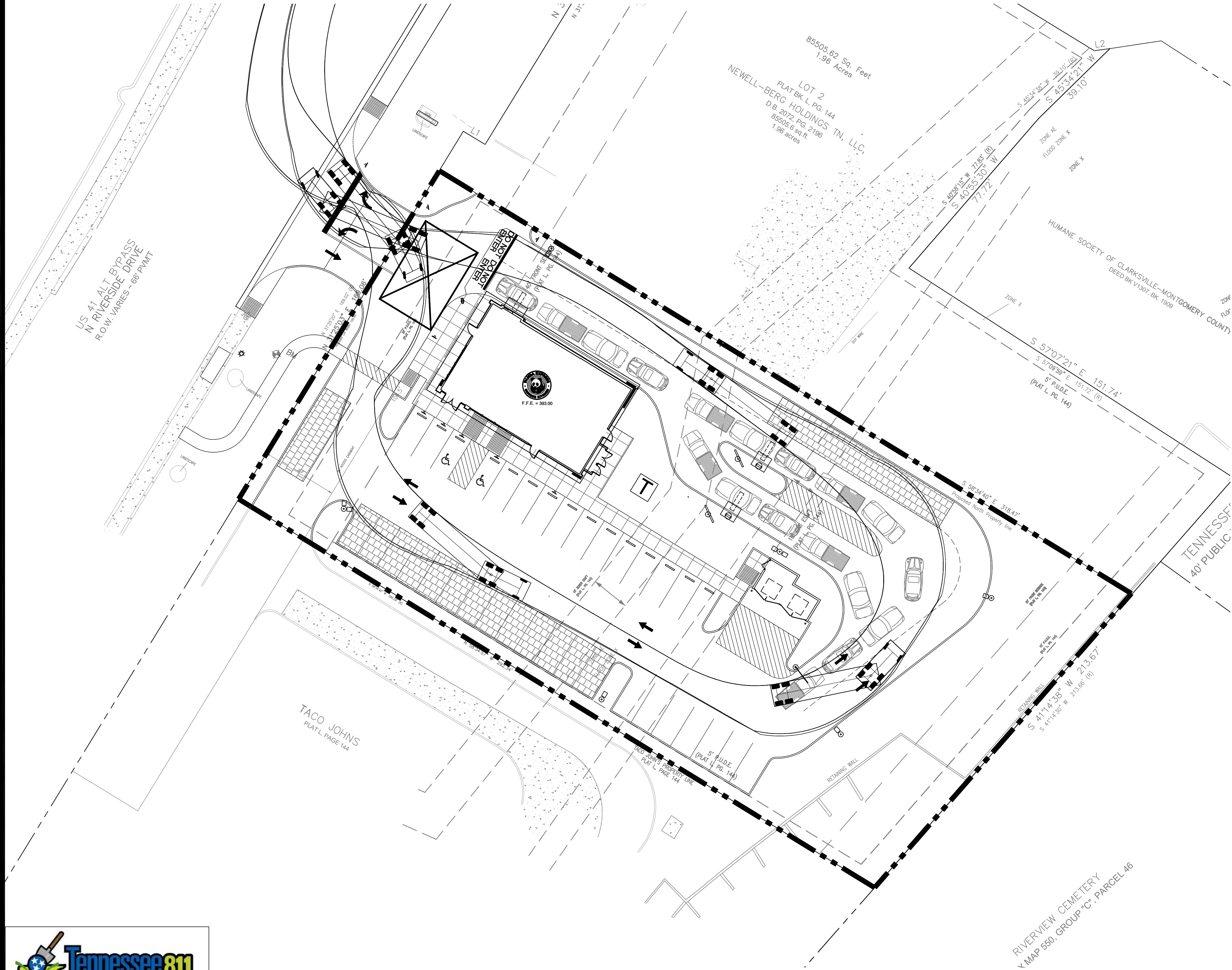
- ⑧ PARKING STALL COUNT - SEE PLANS
- LIGHT DUTY CONCRETE PAVING - SEE DETAIL SHEET SECTION (C03.1)
- HEAVY DUTY CONCRETE PAVING - SEE DETAIL SHEET SECTION (C03.1)
- CONCRETE SIDEWALK - SEE DETAIL SHEET (C03.1)
- CONCRETE PAVING AT DUMPSTER ENCLOSURE, DRIVE THRU, AND PARKING ALONG BUILDING PER GEOTECHNICAL REPORT
- HANDICAP PARKING
- DIRECTIONAL ARROWS
- PROPOSED CURB AND GUTTER AT CONCRETE - MONOLITHIC AT CONCRETE PAVEMENT - SEE DETAIL SHEET (C03.1)
- LIGHT POLE - SEE PHOTO METRIC PLAN - SEE LIGHT POLE BASE ON DETAIL SHEET (C03.1)



LOCATION MAP
NOT TO SCALE

GENERAL NOTES

SEE NOTES ON SHEET C01.1



BM #1
TYPE: PK NAIL SET IN CURB
ELEVATION: -307.64
NORTHING: -805,593.25
EASTING: -1,567,031.62

FLOOD STATEMENT:
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE(S) X, FLOOD ZONE X AND ZONE AE OF THE FLOOD INSURANCE RATE MAP NUMBER 471250226E, WHICH BEARS AN EFFECTIVE DATE OF 01/15/2021 AND IS IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

BASIS OF BEARINGS:
ALL BEARINGS ARE BASED ON NAD83,
TENNESSEE STATE PLANE.



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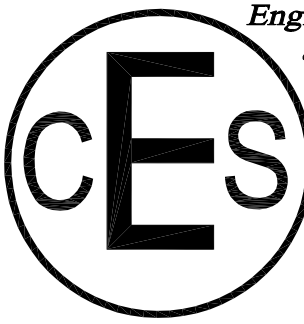
ISSUE DATE:

1	PERMIT/BID	09-13-2022
1	CONSTRUCTION	01-30-2023

PANDA PROJECT #: D23503

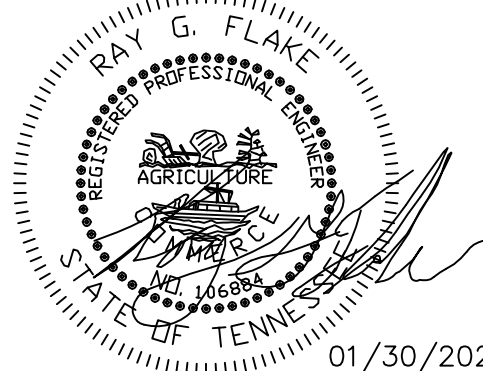
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PANDA EXPRESS

955 N. RIVERSIDE DRIVE
CLARKSVILLE, TN. 37040

TRUE WARM & WELCOME 2600-2022

TRUCK TURN PLAN

C07.0

PANDA HOME 2600 R4



PANDA EXPRESS LANDSCAPE NOTES:

1. WHEN APPLICABLE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING TREES TO REMAIN. NO HEAVY EQUIPMENT SHOULD BE PERMITTED TO OPERATE OR BE STORED, NOR ANY MATERIALS TO BE HANDLED OR STORED, WITHIN THE DRILPLINES OF TREES OUTSIDE THE LIMIT OF GRADING.
2. THE QUANTITIES INDICATED ON THE PLANT LIST AND PLAN ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND THE LIABILITY WHICH PERTAINS TO THOSE QUANTITIES AND TO ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS. QUESTIONS SHOULD BE DIRECTED TO THE LANDSCAPE ARCHITECT.
3. ALL PLANT MATERIALS SHALL BE NURSERY GROWN, GRADE 'A' QUALITY, UNLESS OTHERWISE NOTED AND SHALL COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK: ANSI Z-60.1; LATEST EDITION, FOR SIZE AND QUALITY.
4. NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT. KITA SUSTAINABLE DESIGNS, LLC (615) 469-1222.
5. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TO PROTECT UTILITIES THAT ARE TO REMAIN. THE CONTRACTOR SHALL REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
6. STABILIZE ALL DISTURBED AREAS WITH SOD. PRIOR TO INSTALLATION, CONTRACTOR TO COORDINATE WITH PANDA EXPRESS PROJECT MANAGER TO VERIFY SOD TYPE TO BE USED. ROLL ALL SOD AFTER PLACING.
7. SOIL USED FOR PLANTING SHALL CONSIST OF (5) PARTS TOPSOIL, (1) PART SAND AND (2) PARTS ORGANIC MATTER, MIXED WITH 1 POUND OF FERTILIZER PER CUBIC YARD.
A. SAND SHALL BE CLEAN MASONRY SAND.
B. ORGANIC MATTER SHALL BE PEAT MOSS, OR WELL COMPOSTED PINE BARK, OR APPROVED EQUAL AND SHALL BE FINELY GROUND AND FREE OF WEEDS.
C. ALL FERTILIZER SHALL BE 10-10-10 WITH MINOR ELEMENTS. FERTILIZER SHALL HAVE 40-50% OF ITS TOTAL NITROGEN IN A WATER INSOLUBLE FORM.
8. PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AND SOD AREAS PRIOR TO INSTALLATION. TREELAN OR AN APPROVED EQUAL SHALL BE USED.
9. ALL PLANT BEDS SHALL HAVE A MINIMUM OF 3" DEEP MULCH. MULCH SHALL BE RIVER ROCK (OR LOCAL EQUAL), 1" - 1.5" DIAMETER STONE.
10. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO CONFIRM MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT LIST.
11. PRIOR TO FINAL PAYMENT, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH COMPLETE WRITTEN INSTRUCTIONS ON PROPER CARE OF ALL SPECIFIED PLANT MATERIALS.
12. THE LANDSCAPE INSTALLATION SHALL BE COORDINATED WITH THE IRRIGATION INSTALLATION WHEN APPLICABLE. IRRIGATION TO BE DESIGN-BUILD BY THE G.C.
13. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES AND TAKE SPECIAL CARE TO INSURE THAT BED PREPARATION DOES NOT INHIBIT DRAINAGE.
14. ALL LAWN AREAS SHALL BE CULTIVATED TO A DEPTH OF 4" PRIOR TO SODDING. PREPARED TURF BEDS SHALL BE FREE FROM STONES OVER 2" DIAMETER, WEEDS AND OTHER DELETERIOUS MATERIAL.
15. THE LANDSCAPE CONTRACTOR SHALL RAKE SMOOTH ALL SOD AREAS PRIOR TO INSTALLATION.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING BEHIND THE CURB SO GRADE IS LEVEL WITH TOP OF CURB.
17. CUT AWAY ROPES OR WIRES FROM B&B PLANTS. PULL BACK BURLAP FROM TOP OF ROOT BALL. DO NOT ALLOW BURLAP TO BE EXPOSED AT SURFACE. TOTALLY REMOVE BURLAP IF IT IS SYNTHETIC.
18. IF CONTAINER GROWN PLANTS SHOW SIGNS OF BEING ROOT BOUND, SCORE ROOTS VERTICALLY.
19. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
20. ALL REPLACEMENTS SHALL BE OF THE SAME TYPE, SIZE, AND QUALITY AS SPECIFIED ON THE PLANT LIST, UNLESS APPROVED OTHERWISE IN WRITING BY THE LANDSCAPE ARCHITECT.
21. ANY MATERIAL THAT IS DEEMED TO BE 25% DEAD OR MORE SHALL BE CONSIDERED DEAD, AND MUST BE REPLACED AT NO CHARGE. A TREE IS CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR MORE THAN 25% OF THE CROWN IS DEAD.
22. REPLACEMENTS SHALL BE MADE DURING THE NEXT PLANTING SEASON UNLESS THE LANDSCAPE CONTRACTOR AGREES TO AN EARLIER DATE.
PLANTING DATES
SPRING: MARCH 15 - APRIL 15
FALL: OCTOBER 1 - NOVEMBER 30
23. THE LANDSCAPE CONTRACTOR WILL NOT BE RESPONSIBLE FOR PLANT MATERIAL THAT HAS BEEN DAMAGED BY VANDALISM, FIRE, RELOCATION, WILDLIFE, THEFT, OR OTHER ACTIVITIES BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL.
24. GENERAL CONTRACTOR TO COORDINATE AND BE RESPONSIBLE FOR WATERING ALL PLANTS AND TURF AREAS AFTER PLANTING UNTIL IRRIGATION SYSTEM IS OPERABLE.
25. CONTRACTOR TO IRRIGATE ALL NEW LANDSCAPE PLANTINGS AND LAWN AREAS WITH AN AUTOMATED UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM TO BE DESIGN-BUILD BY G.C.
26. IRRIGATION TO HAVE A SEPARATE METER.
27. PLANT MATERIAL SHALL BE APPROPRIATE FOR THE APPLICABLE USDA PLANT HARDINESS ZONE.
28. SPECIES MUST MEET BOTH MINIMUM CALIPER OR GALLON SIZE AND HEIGHT IF LISTED.
29. LANDSCAPE CONTRACTOR TO MAINTAIN LANDSCAPING FOR 60 DAYS AFTER TURNOVER. MAINTENANCE SHALL INCLUDE MOWING, EDGING AND TRIMMING SHRUBS

LANDSCAPE BED NOTES:

1. ALL LANDSCAPE BEDS SHOULD BE PREPARED 3" BELOW GRADE PRIOR TO START.
2. APPLY PRE-EMERGENT TO ALL LANDSCAPE BEDS AS SUGGESTED PER MANUFACTURER'S SPECIFICATIONS. (SEE NOTE #8).
3. APPLY PERMEABLE WEED BARRIER TO ALL LANDSCAPE BEDS.
4. INSTALL RIVER ROCK MULCH (OR LOCAL EQUAL) (1" - 1.5" DIAMETER), APPROXIMATELY 3" DEEP IN ALL LANDSCAPE BEDS OVER WEED BARRIER.

LANDSCAPE CALCULATIONS		
	REQUIRED	PROVIDED
NORTH PERIMETER		
1 TREE/50'	4.5	5
NO SHRUBS REQUIRED		
EAST PERIMETER - (TRENTON ROAD)		
1 TREE/50'	2.8	3
NO SHRUBS REQUIRED		
SOUTH PERIMETER		
1 TREE/50'	4.0	4
NO SHRUBS REQUIRED		
WEST PERIMETER		
1 TREE/50'	2.1	2
10 SHRUBS/100'	10.7	14
VUA - INTERIOR LANDSCAPING		
PARKING AREA:		26,711 SF
LANDSCAPE AREA: (5% MIN.)	1,336 SF	3,275 SF
PARKING SPACES:		
1 TREE/15 SPACES	2.3	3



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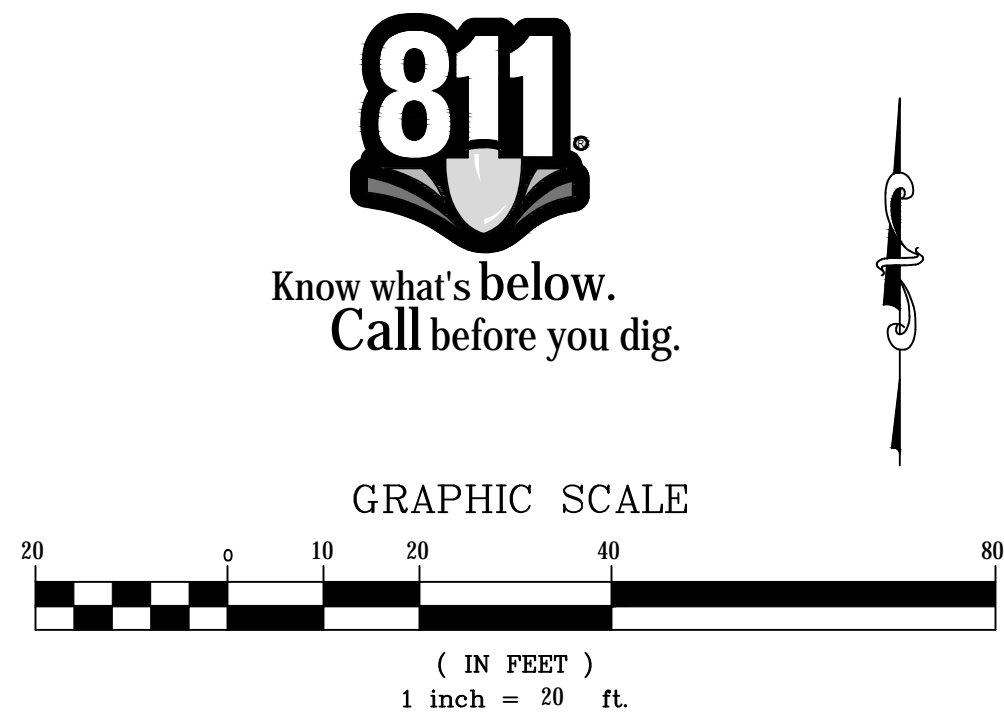


CITY OF CLARKSVILLE LANDSCAPE NOTES

1. THE OWNER SHALL SUBMIT A CERTIFICATE OF LANDSCAPE COMPLIANCE TO THE BUILDING AND CODES DEPARTMENT UPON COMPLETION OF THE LANDSCAPE INSTALLATION.
2. UPON SUBMITTAL OF A CERTIFICATE OF LANDSCAPE COMPLIANCE CONTACT BUILDING AND CODES AT 931-645-7426 TO SCHEDULE A LANDSCAPE INSPECTION.
3. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL LANDSCAPE MATERIALS ARE IN PLACE INSUBSTANTIAL COMPLIANCE WITH THE APPROVED LANDSCAPE PLAN.
4. ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOLIATES SHALL BE REPLACED WITHIN ONE YEAR OR BY THE NEXT GROWING SEASON, WHICHEVER COMES FIRST. OTHER DEFECTIVE LANDSCAPE MATERIAL SHALL BE REPLACED WITHIN THREE MONTHS.
5. ALL TREES SHALL BE STRAIGHT TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED. ALL TREES AND SHRUBS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED WITH SIZES INDICATED ON THE PLANT SCHEDULE ON THE APPROVED PLANS. ALL PLANTS SHALL BE HEALTHY, VIGOROUS MATERIAL, FREE OF PEST AND DISEASE. ALL ROOTBALLS, CONTAINERS AND HEIGHT TO WIDTH RATIOS SHALL CONFORM TO THE SIZE STANDARDS SET FORTH IN THE AMERICAN STANDARDS FOR NURSERY STOCK, CURRENT EDITION.
6. ALL REQUIRED DECIDUOUS TREES SHALL BE A MINIMUM OF 2" (TWO INCHES) IN CALIPER AT PLANTING.
7. ALL REQUIRED EVERGREEN TREES SHALL BE A MINIMUM OF 6" (SIX FEET) IN HEIGHT AT PLANTING.
8. ALL REQUIRED SHRUBS SHALL BE A MINIMUM OF 18" IN HEIGHT AT PLANTING.
9. ANY SITE OR LANDSCAPE CHANGES (INCLUDING BUT NOT LIMITED TO A CHANGE IN DESIGN, A REDUCTION IN SIZE OR NUMBER OF PLANT MATERIAL, OR THE RELOCATION OF OVERHEAD OR UNDERGROUND UTILITIES) WILL REQUIRE A REVISED LANDSCAPE PLAN TO BE SUBMITTED AND APPROVED PRIOR TO THE LANDSCAPE INSTALLATION.
10. IF PROPOSING ANY LANDSCAPING WITHIN A DEDICATED EASEMENT, THE FOLLOWING NOTE SHOULD BE INCLUDED ON THE LANDSCAPE PLANS:

"THE OWNER ACKNOWLEDGES THAT LANDSCAPING IN A DEDICATED EASEMENT DOES NOT WAIVE OR MODIFY THE CITY OF CLARKSVILLE'S RIGHTS AS THE EASEMENT HOLDER. THE OWNER UNDERSTANDS THAT THE CITY OF CLARKSVILLE, ITS AUTHORIZED CONTRACTOR OR APPLICABLE PRIVATE UTILITY SHALL HAVE NO LIABILITY TO THE OWNER FOR ANY DAMAGE TO THE LANDSCAPING IN THE EASEMENT WHEN SAID DAMAGE IS DUE TO WORK WITHIN THE EASEMENT. THE OWNER MAY BE HELD RESPONSIBLE FOR THE REMOVAL OF THE LANDSCAPING TO ENABLE WORK TO BE DONE. THE OWNER SHALL BE SOLELY RESPONSIBLE FOR ANY COSTS INCURRED IN REPAIRING AND/OR REPLACING THE REQUIRED LANDSCAPING."

PLANT SCHEDULE					
QTY.	COMMON NAME	BOTANICAL NAME	HEIGHT	TRUNK	COMMENTS
CANOPY TREES					
4	Princeton Elm	Ulmus parvifolia 'Princeton'	10' - 12'	2" Cal.	B&B
8	'Green Vase' Japanese Zelkova	Zelkova serrata 'Green Vase'	10' - 12'	2" Cal.	B&B
3	Tulip Poplar	Liriodendron tulipifera	10' - 12'	2" Cal.	B&B
15	TOTAL - CANOPY TREES				
UNDERSTORY/COLUMNAR TREES					
2	'Dynamite' Crapemyrtle	Lagerstroemia indica 'Whit II'	6' - 7'	2" Cal.	Multi-Trunk, Min. (3) 2" canes
2	TOTAL - UNDERSTORY TREES				
17	TOTAL - ALL TREES				
SHRUBS					
3	Blue Star Juniper	Juniperus squamata 'Blue Star'	6" - 8"	3 Gal.	Container
4	'Black Knight' Butterfly Bush	Buddleja davidii 'Black Knight'	30" Min.	5 Gal.	Container
22	Carissa Holly	Ilex cornuta 'Carissa'	18" Min.	3 Gal.	Container
5	Compact Inkberry Holly	Ilex glabra 'Compacta'	18" Min.	3 Gal.	Container
17	'Double Play Gold' Spirea	Spirea japonica 'Double Play Gold'	12" Min.	1 Gal.	Container
7	'Little Henry' Virginia Sweetspire	Ita virginica 'Little Henry'	18" Min.	3 Gal.	Container
13	'Obsession' Nandina	Nandina domestica 'Seika'	18" Min.	3 Gal.	Container
4	Schip Laurel	Prunus laurocerasus 'Schipkaensis'	30" Min.	5 Gal.	Container
75	TOTAL - SHRUBS				
GRASSES, PERENNIALS AND GROUND COVER					
3	Karl Foerster Grass	Calamagrostis x acutiflora 'Karl Foerster'		1 Gal.	Container
17	'Goldsturm' Black Eyed Susan	Rudbeckia fulgida var. sullivantii 'Goldsturm'		1 Gal.	Container
22	Little Bluestem	Schizachyrium scoparium		1 Gal.	Container
3	Red Drift Rose	Rosa 'Meigalpio'		3 Gal.	Container
44	Variegated Liriope	Liriope muscari 'Variegata'		1 Gal.	Container
TURF					
-	Hybrid Fescue Seed/Sod	Drought tolerant fescue blend			
MULCH					
	ROCK MULCH	ROCK MULCH, BUFFALO RIVER ROCK OR APPROVED EQUAL. 1" - 3" ROCK SIZE AND 3" DEEP.			



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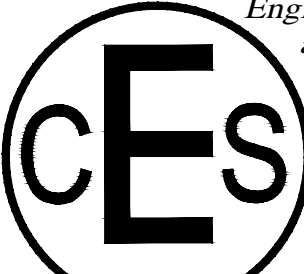
1	COMMENTS FROM CITY	04-21-2020
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ISSUE DATE:

1	XXXXX	XX-XX-2022
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PANDA PROJECT #: D23503
CES PROJECT #: 2020-XXXX

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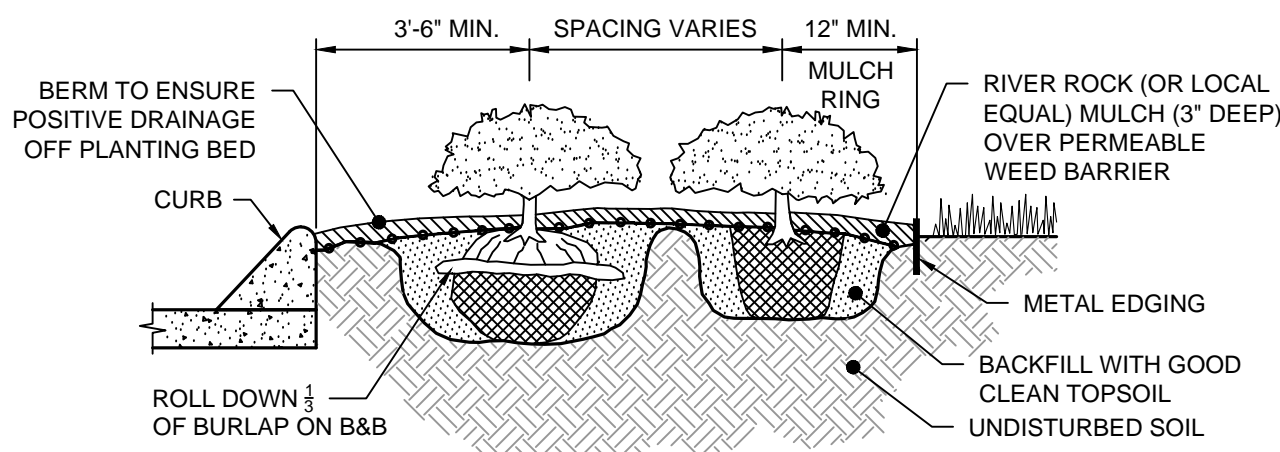
955 N. RIVERSIDE DRIVE
CLARKSVILLE, TN. 37040

TRUE WARM & WELCOME 2600-2022

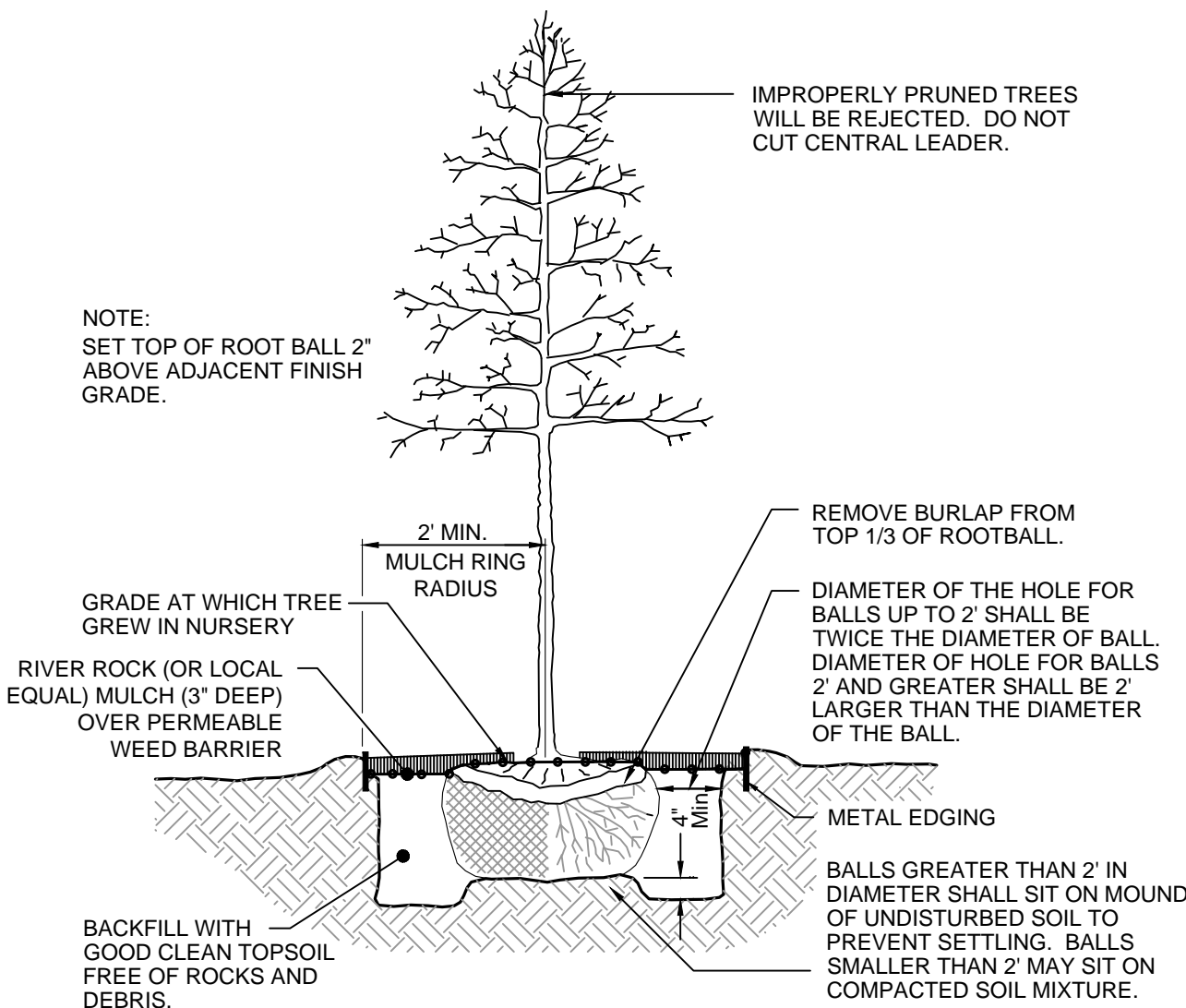
LANDSCAPE PLAN

LO1.1

PANDA HOME 2600 R4



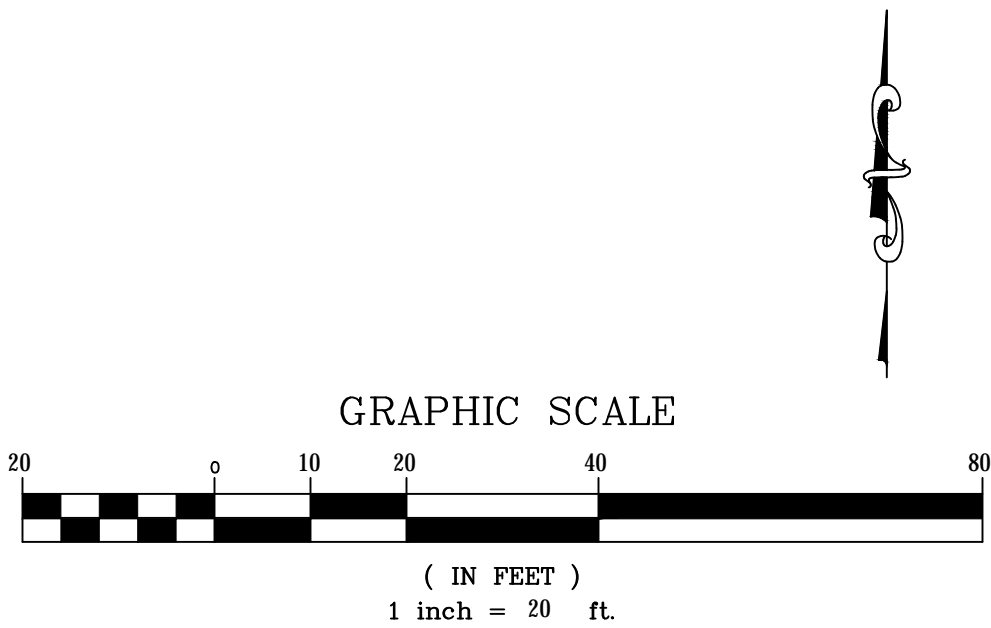
SHRUB / GROUNDCOVER PLANTING
NOT TO SCALE



DECIDUOUS TREE PLANTING
NOT TO SCALE



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1	COMMENTS FROM CITY	04-21-2020

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TRUE WARM & WELCOME 2600-2022

LANDSCAPE
DETAILS
LO1.2

PANDA HOME 2600 R4